

# Public Agenda



*Please reply to:*

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Date: 19 July 2016

## Notice of meeting

### Planning Committee

**Date:** Wednesday, 27 July 2016

**Time:** **Call Over Meeting** - 6.45 pm

The Call Over meeting will deal with administrative matters for the Planning Committee meeting. Please see guidance note on reverse

**Committee meeting** – Immediately upon the conclusion of the call over Meeting

**Place:** Council Chamber, Council Offices, Knowle Green, Staines-upon-Thames

### To the member of the Planning Committee

Councillors:

R.A. Smith-Ainsley (Chairman)	S.J. Burkmar	A.C. Harman
H.A. Thomson (Vice-Chairman)	R. Chandler	A.T. Jones
R.O. Barratt	S.M. Doran	D. Patel
I.J. Beardsmore	M.P.C. Francis	O. Rybinski
J.R. Boughtflower	N.J. Gething	R.W. Sider BEM

**Spelthorne Borough Council, Council Offices, Knowle Green**

**Staines-upon-Thames TW18 1XB**

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## **Call Over Meeting**

### **Guidance Note**

The Council will organise a meeting immediately prior to the Planning Committee meeting (a "Call Over") which will deal with the following administrative matters for the Committee:

- Ward councillor speaking
- Public speakers
- Declarations of interests
- Late information
- Withdrawals
- Changes of condition
- any other procedural issues which in the opinion of the Chairman ought to be dealt with in advance of the meeting.

The Call-Over will be organised by Officers who will be present. Unless there are exceptional circumstances, the meeting will be held in the same room planned for the Committee. The Chairman of the Planning Committee will preside at the Call-Over. The Call-Over will take place in public and Officers will advise the public of the proceedings at the meeting. Public speaking at the Call-Over either in answer to the Chairman's questions or otherwise will be at the sole discretion of the Chairman and his ruling on all administrative matters for the Committee will be final.

Councillors should not seek to discuss the merits of a planning application or any other material aspect of an application during the Call-Over.

## **Planning Committee meeting**

### **Start times of agenda items**

It is impossible to predict the start and finish time of any particular item on the agenda. It may happen on occasion that the Chairman will use his discretion to re-arrange the running order of the agenda, depending on the level of public interest on an item or the amount of public speaking that may need to take place. This may mean that someone arranging to arrive later in order to only hear an item towards the middle or the end of the agenda, may miss that item altogether because it has been "brought forward" by the Chairman, or because the preceding items have been dealt with more speedily than anticipated. Therefore, if you are anxious to make certain that you hear any particular item being debated by the Planning Committee, it is recommended that you arrange to attend from the start of the meeting.

### **Background Papers**

For the purposes of the Local Government (Access to Information) Act 1985, the following documents are to be regarded as standard background papers in relation to all items:

- Letters of representation from third parties
- Consultation replies from outside bodies
- Letters or statements from or on behalf of the applicant

## **AGENDA**

**Page nos.**

- 1. Apologies**  
To receive any apologies for non-attendance.
- 2. Minutes** **5 - 10**  
To confirm the minutes of the meeting held on 29 June 2016 (copy attached).
- 3. Disclosures of Interest**  
To receive any disclosures of interest from councillors under the Councillors' Code of Conduct, or contact with applicants/objectors under the Planning Code.
- 4. Planning Applications and other Development Control matters**  
To consider and determine the planning applications and other development control matters in the report of the Head of Planning and Housing Strategy (copy attached).

  - a) 15/01518/FUL - 90-106 High Street, Staines-upon-Thames, TW18 4DP **11 - 46**
  - b) 16/00893/FUL - Page Works, Forge Lane, Sunbury On Thames, TW16 6EQ **47 - 88**
- 5. Standard Appeals Report** **89 - 94**  
To note the details of the Standard Appeals Report.
- 6. Urgent Items**  
To consider any items which the Chairman considers as urgent.

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**Minutes of the Planning Committee  
29 June 2016**

**Present:**

Councillor R.A. Smith-Ainsley (Chairman)  
Councillor H.A. Thomson (Vice-Chairman)

**Councillors:**

R.O. Barratt	S.M. Doran	A.T. Jones
S.J. Burkmar	M.P.C. Francis	O. Rybinski
R. Chandler	A.C. Harman	R.W. Sider BEM

**Apologies:** Apologies were received from Councillor J.R. Boughtflower and Councillor N.J. Gething

**In Attendance:**

Councillors who are not members of the Committee, but attended the meeting and spoke on an application in or affecting their ward, are set out below in relation to the relevant application.

Councillor M.M. Attewell	16/00561/HOU - 50 Squires Bridge Road, Shepperton, TW17 0QA
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**146/16 Minutes**

The minutes of the meeting held on 1 June 2016 were approved as a correct record.

**147/16 Disclosures of Interest**

**a) Disclosures of interest under the Members' Code of Conduct**

There were none.

**b) Declarations of interest under the Council's Planning Code**

Councillors R.A. Smith Ainsley reported that he had received correspondence in relation to applications 16/00561/HOU - 50 Squires Bridge Road, Shepperton, TW17 0QA and 16/00662/SCC - Recycling Facility At Shepperton Quarry, Littleton Lane, Shepperton but had maintained an impartial role, had not expressed any views and had kept an open mind.

**148/16 16/00561/HOU - 50 Squires Bridge Road, Shepperton, TW17 0QA**

**Description:**

Erection of a single storey rear extension and a first floor rear extension.

**Additional Information:**

There was none.

**Public Speaking:**

In accordance with the Council's procedure for speaking at meetings, Anne Thompson spoke against the proposal raising the following key points:

- Speaking on behalf of 1 and 3 Ash Road.
- Removal of balcony alleviates some concern however doesn't change their objections
- Homes are already in close proximity
- Overshadowing, loss of light/sunlight
- Impact compounded by existing sycamore trees in rear garden of application site
- The six trees are not managed by present owner which blocks almost all light from the north and north west of adjoining property
- Loss of sunlight is detrimental to wellbeing and neighbours lifestyle

In accordance with the Council's procedure for speaking at meetings, Kevin Turner spoke for the proposal raising the following key points:

- Original submission met with Council's SPD on design
- Amended proposal now exceeds Council's SPD on design
- Will be more than 1m from the boundary
- Appeal Inspector would take into account the Council's SPD on design
- Existing trees would screen the proposal
- If refused permission, Council's SPD on design will need to be revised
- The applicant has reduced the size of the extension and worked with officers
- Modest extension on a large house
- Officer recommendation in favour of proposal

In accordance with the Council's procedure for speaking at meetings, Councillor Attewell spoke as Ward Councillor against the proposal raising the following key points:

- When she called this application in, it was before the amended plans
- The proposal has caused distress for neighbours
- Increasing height of trees was an issue and extension will cause additional harm

- Restriction of sunlight in the garden of 1 Ash Road
- Impact on greenbelt
- Neighbours garden more restricted and preventing enjoyment.

**Debate:**

During the debate the following key issues were raised:

- Application is policy compliant
- Need to look at high hedge legislation
- The openness of greenbelt not affected

**Decision:**

That the application was **approved**, subject to the inclusion of conditions and informatives as set out in the report of the Assistant Head of Planning (Development Management).

**149/16 16/00662/SCC - Recycling Facility At Shepperton Quarry Littleton Lane Shepperton TW17 0NF**

**Description:**

Surrey County Council application for Brett Aggregates Ltd – Continued use of land as a temporary recycling facility for construction and demolition of waste using crushing and screening plant to produce recycled soils and aggregates, stockpiling of waste and recycled products, retention of screen bunding and two storey site office, until 21 May 2017 without compliance with Conditions 2 and 8 of planning permission ref: SP14/0835 dated 24 September 2014.

**Additional Information:**

The Assistant Head of Planning (Development Management) informed the Committee of a number of amendments to the Committee report. The description of the 'Proposal' as provided on the front page of the committee report should have had the word 'of' omitted between the words 'demolition' and 'waste' on the third line and should read:

"Continued use of land as a temporary recycling facility for construction and demolition waste using crushing and screening plant to produce recycled soils and aggregates, stockpiling of waste and recycled products, retention of screen bunding and two storey site office, until 21 May 2017 without compliance with Conditions 2 and 8 of planning permission ref: SP14/0835 dated 24 September 2014".

The second line of the executive summary on page 38 of the agenda should refer to the further period of one year until 21 May 2017.

Furthermore the Assistant Head of Planning (Development Management) reported that a letter of representation had been received raising an objection to the continued operation of the site; which made reference to other uses, activities and HGV traffic movements which do not relate to aggregate

extraction and which should be discontinued. The comments also referred to the future need to restore the site to Green Belt land in accordance with the original permissions.

**Public Speaking:**

There was none.

**Debate:**

During the debate the following key issues were raised:

- Concern that extensions go on longer than stated.
- Dust pollution
- Conditions to ensure clean HGV tyres and clean roads.

**Decision:**

That Surrey County Council be informed that this Council raises NO OBJECTIONS to the principle of a further temporary permission on the site, subject to the following matters:

- (i) That the length of the temporary use on this site is restricted to any existing consents for gravel extraction and restoration on Home Farm.
- (ii) That confirmation is received that there are no alternative non-Green Belt sites in the local area.
- (iii) That the applicant can demonstrate that there remains a continuing need for recycling facilities within the current economic climate.

**150/16 Standard Appeals Report**

The Chairman informed the Committee that if any Member had any detailed queries regarding the report on Appeals lodged and decisions received since the last meeting, they should contact the Assistant Head of Planning and Housing Strategy.

**Resolved** that the report of the Assistant Head of Planning and Housing Strategy be received and noted.

**151/16 Thanks to John Brooks**

It was proposed by Councillor R.A. Smith-Ainsley and seconded by Councillor H.A. Thomson that the following vote of thanks be recorded:

“John Brooks advised the Committee as Head of Planning and Housing Strategy from early 2014 through to the planning meeting on 1 June. John’s expertise was extremely valuable for committee members when queries arose



before and during our committee meetings; through this he assisted greatly in the smooth running of the meetings. I am personally very grateful to John for the advice he has given me.

During this time John was also doing significant work on our new Local Plan and CIL charging mechanism.”

**Resolved** that the Committee agree a vote of thanks to John Brooks for his time as Head of Planning and Housing Strategy.

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The Elmsleigh Centre

15/01518/FUL  
90-106 High Street,  
Staines-upon-Thames, TW18 4DP



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## Planning Committee

27 July 2016



<b>Application Nos.</b>	15/01518/FUL		
<b>Site Address</b>	90 – 106 High Street, Staines upon Thames		
<b>Proposal</b>	Demolition of existing buildings and the erection of a part 4-storey/part 5-storey building to provide 1,435 sqm (GEA) of ground floor retail floorspace and an 151 bedroom hotel. Extension and reconfiguration of car park to provide 45 parking spaces to hotel and retail and 25 parking spaces to The Courtyard. Creation of new access, and other associated works.		
<b>Applicant</b>	Property Partners (Two Rivers) Limited		
<b>Ward</b>	Staines		
<b>Call in details</b>	N/A		
<b>Case Officer</b>	Paul Tomson/Susanna Angell		
<b>Application Dates</b>	Valid: 26.11.2015	Expiry: 25.02.2016	Target: Agreed Extension of Time
<b>Executive Summary</b>	<p>This application seeks the demolition of the existing buildings and the erection of a part 4 storey/part 5 storey building to provide 1,435 sqm of commercial floorspace to provide a retail unit, and an 151 bedroom hotel. The proposal also involves the extension and reconfiguration of the car park to the rear and other associated works.</p> <p>The site is located within the Staines Town Centre Primary Shopping area, and within a designated Employment Area, and the principle of providing a new retail unit and hotel in this town centre location is considered acceptable and complies with Policies TC1, TC2 and EM1 of the Core Strategy and Policies DPD 2009 (CS &amp; P DPD). None of the existing buildings are Listed or locally listed and there is no objection to their demolition.</p> <p>The proposed design and appearance considered to be acceptable and would enhance this part of the Town Centre. Furthermore, the relationship with the neighbouring properties is considered satisfactory. The proposal is also acceptable in terms of flooding and transportation</p>		

<b>Recommended Decision</b>	This application is recommended for approval
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## MAIN REPORT

### 1. Development Plan

1.1 The following policies in the Council's Core Strategy and Policies DPD 2009 are considered relevant to this proposal:

- LO1 (Flooding)
- EM1 (Employment Development)
- TC1 (Staines Town Centre)
- TC2 (Staines Town Centre Shopping Frontage)
- EN1 (Design of New Development)
- EN3 (Air Quality)
- EN8 (Protecting and Improving the Landscape and Biodiversity)
- EN11 (Noise)
- EN15 (Development on Land Affected by Contamination)
- CC1 (Renewable Energy, Energy Conservation and Sustainable Construction)
- CC2 (Sustainable Travel)
- CC3 (Parking Provision)

1.2 It is also considered that Saved Local Plan Policy BE25 (Archaeology) is relevant to this proposal.

### 2. Relevant Planning History

93/00046/FUL Extended car park provision	Approved 31/03/1993
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15/00507/PDO Prior Approval Notification for the change of use of 'The Courtyard' from offices (B1a) to residential comprising 17 flats,	Prior Approval Given 21/05/2015
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*(Officer note: the approved parking provision is located within the current application site)*

15/00859/FUL Change of use of The Courtyard (Use Class B1a) to 17 residential dwellings (Use Class C3) comprising 16 no. 2-bed and 1 no. 3-bed units, together with replacement windows and entrance doors,	Approved 04/08/2015
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the provision of a new entrance feature,  
bin storage, cycle storage and the realignment  
of existing car parking spaces

*(Officer note: the approved parking provision is located within the current application site)*

### **3. Description of Current Proposal**

- 3.1 The application relates to 90 – 106 High Street in Staines upon Thames, which comprises a row of commercial properties located on the northern side of the pedestrianised High Street, at the junction with Mustard Mill Road. At the time of the officer site visit, all but one of the properties were redundant and screened at the front by temporary hoarding. The application site includes the car park at the rear, including the parking area to the rear of The Courtyard. In addition, the undeveloped piece of land to the north of the car park is also included within the application site. To the north and west of the site are the commercial properties within Norris Road and Two Rivers Shopping Centre. To the south-west is The Courtyard, which is a development erected in the 1980's comprising relatively small office suites. Planning permission was granted last year to convert this building into residential flats (see Section 2 above). To the north-east is Mustard Mill Road and the railway beyond. To the south-east is the crossroads of High Street, Mustard Mill Road and South Street. To the south on the other side of the road are the commercial properties of 101 – 111C High Street.
- 3.2 The site is located within the primary Staines town centre shopping area. It is also within a designated Employment Area, a Site of High Archaeological Potential, and an area liable to flood (part Flood Zone 3a – between 1 in 20 year and 1 in 100 year chance of flooding, part Zone 2 – between 1 in 100 and 1 in 1000 year chance of flooding). None of the existing buildings on the site are Listed or 'locally listed'.
- 3.3 The proposal involves the demolition of the existing buildings and the erection of a part 4-storey/part 5-storey building to provide a ground floor retail unit comprising 1,435 sqm floorspace, and an 151 bedroom hotel. The proposed building will measure 44.3 metres in width (High Street frontage), up to 67.3 metres in depth (although the majority of the building will be less than this at 38 metres), and between 14.4 metres and 18 metres in height. Part of the retail unit behind the High Street and Mustard Mill Road frontages will be single storey with plant above. The retail store will front onto High Street. The hotel will be primarily situated on the upper floors. However, the hotel entrance is to be located on the south-eastern corner at the junction of High Street and Mustard Mill Road. The hotel restaurant will be situated at first floor level. The building will be faced with a mix of coloured render, buff coloured brickwork and other materials. The south-eastern corner accommodating the hotel entrance and staircase will be clear glazed. Part of the hotel's northern wing will comprise an undercroft to accommodate a loading bay, bin storage and other facilities.

- 3.4 The proposal also involves the extension and reconfiguration of the existing car park towards the rear of the site. In particular, the existing piece of land at the northern end comprising a number of trees will be replaced with car parking. In total, there will be 70 parking spaces, including 5 disabled spaces. The applicant states that 45 of these parking spaces are to be used in association with the retail store and hotel, whilst the remaining 25 spaces are to be provided for The Courtyard located immediately to the south-west. The existing access onto Mustard Mill Road will be closed and replaced with a new access located slightly further towards the northern end of the site.
- 3.5 The application has been amended since it was first submitted. In particular, the external elevational treatment has been altered. The previous brick faced elevations have been replaced with coloured render comprising a combination of off-white and pale brown coloured render. The bronze coloured pattern metal panels on the ground floor of the Mustard Mill Road elevation have been replaced with buff coloured brickwork. The fenestration has been amended. Furthermore, the first floor hotel restaurant terrace has been enclosed with glazing. Neighbouring properties have been re-notified of the amended plans and given the opportunity to submit any further representations. Any further letters will be reported orally at the meeting.
- 3.6 Copies of the proposed site layout and elevations are provided as an Appendix.

#### 4. **Consultations**

- 4.1 The following table shows those bodies consulted and their response.

Consultee	Comment
County Highway Authority	No objection subject to conditions. Requests financial contributions of £6150 towards auditing the monitoring of the travel plan and £4313.99 towards reviewing the Staines UTC SCOOT. <i>Officer note: this involves the creation of a signalised traffic control system to improve traffic flow in the town centre.</i>
Environment Agency	No objection subject to a condition.
Head of Street Scene	No objection. Advises that deliveries to the units should be from the rear and not the High Street.
Crime Prevention Officer	Made various security related comments, including recommendations that CCTV and suitable external lighting is installed across the car park. Advises the location of the cycle racks is reconsidered and designed subject to suitable security standards. In addition, recommends that a condition is imposed requiring the development to achieve the full Secured

	by Design (SbD) award.
Network Rail	No objection.
Sustainability Officer	No objection.
County Archaeologist	No objection subject to a condition.
Local Lead Flood Authority (Surrey County Council)	Does not recommend planning permission is granted as the proposed surface water strategy does not comply with the requirements laid out in the Technical Standards.
Conservation Officer	No objection.
Surrey Wildlife Trust	No objection.
Tree Officer	Raised reservations regarding the loss of trees and other existing landscaping.
Staines Town Society	Made comments regarding the design of the building and replacement trees (see paragraph 5.1 below).
Thames Water	No objection subject to the imposition of conditions relating to drainage and a piling method statement. Made comments relating to trade effluent consent, fat traps, and minimising groundwater discharges into the public sewer. In addition, requests that the developer undertakes an impact study to ascertain whether the proposed development will lead to overloading of existing sewer infrastructure.
Environmental Health (Pollution)	No objection on contaminated land and air quality grounds subject to conditions. Requested information on the kitchen extraction system for the hotel restaurant.
Environmental Health (Noise)	No objection subject to conditions.
Street Scene	No objection.
Spelthorne Committee for Access Now (SCAN)	Comments that the disabled car parking is some distance from the hotel entrance, and that the provision of hotel bedrooms for disabled people is unclear – queries what are the “UA Rooms” referred to in the Design and Access Statement. <i>(Officer note: 4 no. disabled parking spaces are sited at the rear of the retail store and next to the the pedestrian passage linking the car park and the High Street. “UA Rooms” are ‘Universal Access Rooms’.)</i>
Economic Development Officer	Comments that from an economic



	perspective the proposed development will be a welcome addition to the town centre.
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## 5. **Public Consultation**

5.1 79 neighbouring properties were notified of the planning application. Furthermore, statutory site notices were displayed and the application was advertised in the local press. 5 letters of representation have been received, including 1 from the Staines Town Society (see paragraph 4.1). Comments made include:

- Design issues. The general appearance and brick colour could be improved (*Officer note: an amended design has subsequently been submitted*).
- Loss of trees. Concern that the replacement trees in the car park should be mature specimens.
- Proposed 5-storey scale is out of character. Design not in keeping with existing buildings
- Concern about the proposed access/servicing arrangement
- Inadequate parking provision
- Loss of light
- Concern about traffic
- Concern about glare from the glass corner feature and the impact on highway safety.
- Inadequate cycle and motorcycle parking
- Air Quality
- Flooding
- Loss of retail.
- Loss of old buildings

## 6 **Planning Issues**

- Principle
- Loss of existing buildings
- Design and appearance
- Parking
- Impact on highways
- Flooding
- Renewable energy
- Ecology
- Loss of trees
- Archaeology
- Air quality

## 7 **Planning Considerations**

Principle

- 7.1 The site is located within the urban area, within the Staines Primary Shopping area, and within the Staines designated Employment Area. Policy SP4 of the Core Strategy and Policies DPD (CS & P DPD) 'Town Centres and Retail Development' states that the Council will seek the continued improvement of Staines as the principal town centre serving north Surrey. It will make provision for future retailing and related services and support employment development. Policy TC1 of the CS & P DPD 'Staines Town Centre' states that the Council will maintain the role of Staines as the principal town centre serving north Surrey by encouraging developments that contribute to the vitality and viability of the centre and are of a scale and character appropriate to its role. In particular it states that it will 'make provision for a further 32,000 sqm of retail development to meet the needs of its catchment area'. Policy TC2 of the CS & P DPD 'Staines Town Shopping Centre Frontage' states that within the shopping area of Staines town centre uses other than retail, within Use Class A1, will not be permitted where it would lead to a net loss of retail floorspace. The proposal will provide a gross increase of 1435 sqm in retail floorspace while the proposed hotel would be located primarily on the upper floors of the development. The proposal is therefore considered acceptable in principle and complies with the requirement of the Council's retail planning policies for Staines town centre. The proposal is also considered to comply with the vision of the Spelthorne Economic Strategy 2013. Indeed, the Council's Economic Development Officer states that the proposal will help to increase footfall and spend with retailers by attracting additional visitors from outside the Borough, and that the night-time economy is likely to benefit from it.

#### Loss of existing buildings

- 7.2 It is noted that the existing buildings to be demolished are relatively old. However, none of them are statutory listed or even locally listed. Consequently, there is no objection to the demolition of the existing buildings. The Council's Conservation Officer has raised no objection to the demolition of the buildings and has made the following comments on this issue:

*"The eight buildings affected, with others now demolished, formed the extreme end of the High Street before the coming of the railway. The construction of the new Mustard Mill Road further diminished the row and even sliced through the end property which now has a clumsily rebuilt gable end adjacent to the road. These buildings have been unused on their upper floors for many years and the ground floor shop units have been partially occupied by short term lessees. I have inspected these buildings inside and out on two occasions and have concluded that there is only very minimal interest architecturally with very few quite mundane features remaining such as small Victorian cast iron bedroom fireplaces (two) and some utilitarian soft wood panelling. These buildings have never been statutorily listed and in my view fall far short of the criteria used by Historic England. Like all old structures they do have a degree of historic local interest simply via the directories of tenants and shopkeepers over the years. The buildings are neither locally listed nor in a conservation area; they therefore have no historic asset status. They are in my view merely old, but mainly worn out structures of no overriding architectural or historic interest in the town. Their replacement would in my view be nothing more*

*than another layer of the evolution of the town since the Roman settlement era.”*

### Design and appearance

- 7.3 Policy EN1(a) of the CS & P DPD states that the Council will require a high standard of design and layout of new development. Proposals for new development should demonstrate that they will create buildings and places that are attractive with their own distinct identity; they should respect and make a positive contribution to the street scene and the character of the area in which they are situated, paying due regard to the scale, height, proportions, building lines layout, materials and other characteristics of adjoining buildings and land.
- 7.4 The application site is situated in a town centre location fronting the main High Street. This site is situated at the end of the pedestrianised High Street and surrounded by other town centre development. The character of the High Street frontage is mixed. There is a 2 storey commercial property facing the application site (111 High Street) with a flat roof, and glass frontage at ground and first floor. Adjacent to this property No's 95 to 107 have a 1930's facade with red brick and pale stone frontage. These buildings also have two main floors but a greater commercial floor to ceiling height and are similar in scale to typical 3 storey development. Immediately to the west of the application site is a 1980's 3 storey building, known as The Courtyard, which is in commercial use at ground floor. Its 1<sup>st</sup> and 2<sup>nd</sup> floors are due to be converted to 17 flats following the grant of planning permission in August 2015 (15/00889/FUL). This property is faced with a mixture of buff and red brick. The application site is located adjacent to Mustard Mill Road to the north east. Although this is a public road, it was created as part of the Two Rivers Shopping Centre development and has no traditional street frontage. It provides access to the commercial premises at the northern end of the shopping centre. It also links to the back service yards of the substantial Two Rivers commercial buildings.
- 7.5 It is relevant to note that 111 High Street (which is situated opposite the site) has been granted planning permission for an extension to create a 3 storey building with residential accommodation (15/01603/FUL). The design includes a corner tower feature and upper floors faced with render. Furthermore, on the other side of the railway line the Reserved Matters planning application for the Majestic House development has recently been approved. This is a very substantial development between 7 storeys (near the railway) and rising to 9 storeys further along this section of the high street. These buildings will also be faced with a mixture of materials including coloured render
- 7.6 It is considered that, in view of the various design of other buildings in the immediate area, the proposal would be in keeping with the surrounding locality. While the proposed building will be higher than the adjacent 'Courtyard' there will be a 5.8m gap between the 2 properties on the High Street frontage and the design will step up to the greater height on the corner. The proposed glazed tower provides a corner feature which would be lit up at night to provide interest. The design also includes glazing on the High Street elevation at ground and first floor. The ground floor would be occupied by a new retail store, which would be a positive feature providing increased foot fall

to this area. The glazed first floor would serve the hotel restaurant with full height windows broken up by metal panelling providing interest and activity at first floor. The proposed flat roof is considered acceptable as the building would be set back from the adjacent "Courtyard" and there is also a flat roof building facing the application site. The building would be rendered in pale brown and off white which is in keeping with the properties in the immediate area.

- 7.7 The existing return elevation from the High street and the relatively open area where existing car parking is visible along Mustard Mill Road provides an unattractive street frontage. Further along this road is the rear servicing to the retail units of the Two Rivers Development with no traditional street frontage. The proposed building along Mustard Mill Road, whilst large scale would be appropriate within the street scene. It is also relevant that the building would be predominantly viewed from the High Street and the road junction of High Street and South Street.
- 7.8 In terms of the elevation fronting Mustard Mill Road the applicant has treated the elevation with London stock brick and added projecting "pilasters" to create recessed sections which would help to break up the elevation. The north eastern elevation would be viewed from Mustard Mill Road and would be seen in context with the rear elevation of the substantial Two Rivers development and the colour of the facing materials would be in keeping with this development. It is considered that the large glazing element at the junction of the building provides a focal point and it is considered that the proposal is acceptable in design terms within the street scene.

#### Parking

- 7.9 Policy CC3 (Parking Provision of the CS & P DPD states that the Council will require appropriate provision to be made for off-street parking in development proposals in accordance with its maximum parking standards.
- 7.10 The proposed development comprises 70 car parking spaces, of which 45 are to be allocated for the new retail unit and hotel, and 25 are to be designated for the adjacent development of The Courtyard. The first and second floors of The Courtyard has planning permission granted in August 2015 for conversion to 17 flats (15/00859/FUL). The proposed number of residential spaces for The Courtyard (17 spaces) is the same as that approved in the original planning permission and continues to be acceptable. The remaining 8 spaces are to be designated for the staff on the ground floor retail units in The Courtyard, which is also considered acceptable.
- 7.11 The Council's Supplementary Planning Guidance (SPG) on Parking Standards stipulate a maximum parking provision of 72 spaces for the retail unit (non-food retail), (or 103 spaces if it is food retail). The SPG also stipulates a maximum provision of 151 spaces for the proposed hotel (1 space per room), plus some further allowance for the associated restaurant if available for the public (the applicant states that the hotel restaurant will be available for non-resident guests). The floorspace of the dining area of the proposed restaurant is 289 sqm and by applying this in relation to the parking standards associated with restaurant uses, this would lead to a maximum

standard of 72 spaces. Consequently, the overall maximum parking standard for the proposed commercial development would be 295 (or 326 if the store is food retail).

- 7.12 Whilst the proposed commercial parking provision (45) is well below the Council's maximum parking standard, it nevertheless does not exceed that maximum standard (there is no minimum parking standard for commercial development). Considering the site's location on the High Street within Staines town centre the proposed commercial parking level is considered acceptable. Indeed, the supporting notes to the SPG state that car parking provision below the standards may be acceptable in areas well-served by public transport, particularly town centres. The site is close to the train station which has a frequent and extensive service. It is only 250 metres away from the bus station. It is also within easy walking distance of the shops and services of the town centre. The public car parks in the town centre are located a short walking distance away from the site. Furthermore, the County Highway Authority has raised no objection on parking grounds. The applicant has submitted a Framework Travel Plan to be secured by condition, which will encourage sustainable means of travel. Consequently the parking provision is considered to be acceptable.

#### Highway Issues

- 7.13 Policy CC2 of the CS & P DPD states that:

*“The Council will seek to secure more sustainable travel patterns by: ... (d) only permitting traffic generating development where it is or can be made compatible with the transport infrastructure in the area taking into account: (i) number and nature of additional traffic movements, including servicing needs; (ii) capacity of the local transport network; (iii) cumulative impact including other proposed development; (iv) access and egress to the public highway; and (v) highway safety.”*

- 7.14 The proposed development is substantial in scale and has the potential to have an impact on traffic flows and other highway matters. A Transport Assessment (TA) has therefore been submitted with the application. The site is located within Staines town centre and fronts onto the pedestrianised High Street. Given its location and proximity to good public transport a large proportion of customer and staff trips to and from the development will be by foot or bicycle. In terms of vehicle trips, the TA has indicated that the proposal could generate 111 to 126 two-way trips (hotel & foodstore scenario) during AM and PM peak hour, or 86 – 78 two-way trips in the event of a hotel & non-food store scenario. The TA confirms that this level of traffic generation will not have any significant impact on the existing highway and traffic flows. The County Highway Authority (CHA) was consulted and has raised no objection on highway grounds. The CHA has also raised no objection to the design and location of the new access onto Mustard Mill Road and the servicing arrangements. The applicant is proposing to submit a “Delivery Management Plan” pursuant to a condition to ensure that the servicing and delivery procedures for both the retail store and hotel are carried out in a satisfactory manner. The CHA has recommended that such a condition is imposed on the planning permission. They have also requested a financial contribution of £4313.99 towards reviewing the “UTC [Urban Traffic Control] SCOOT” in

Staines town centre. This relates to coordinating junction signalling on the town centre highways to help improve traffic flows and congestion. Accordingly, the proposal is considered acceptable on highway grounds and complies with the requirements of Policy CC2.

- 7.15 The applicant has submitted a Framework Travel Plan to promote more sustainable modes of transport by reducing car use by staff travelling to work at the proposed hotel and retail store. The CHA has raised no objection to the Framework Travel Plan subject to the imposition of a condition requiring the submission of a final Travel Plan to be submitted and approved by the Local Planning Authority. They have also requested a financial contribution of £6150 to cover CHA's costs of auditing and monitoring the final Travel Plan.

### Flooding

- 7.16 Policy LO1 of the CS & P DPD states that the Council will seek to reduce flood risk and its adverse effects on people and property in Spelthorne by supporting the redevelopment of existing developed sites in the urban area in Zones 3a and 3b for 'less vulnerable' uses [e.g. commercial] where a minimum increase of flood storage capacity of 20% can be secured, and it reduces impedance to the flow of flood water where there would be flowing flood water.
- 7.17 The site is mainly located within Flood Zone 3a, which has between 1 in 20 and 1 in 100 year chance of flooding. It is recognised that the footprint of the proposed building is substantially greater than the existing buildings to be demolished (existing footprint = 1237 sqm; proposed footprint = 1731 sqm), which could potentially lead to a reduction in flood storage capacity, contrary to the requirements of Policy LO1. In order to address this issue, the applicant has submitted a revised Flood Risk Assessment (FRA) which proposes measures to make the retail store flood resistant/resilient and therefore enable the ground floor area of the building to accommodate floodwater in the event of a 1 in 100 year flood. Indeed the FRA states that a 'water entry strategy' approach is to be adopted to incorporate flood resistant construction techniques into the building in order to minimise water damage and ingress of floodwater/effluent into the building structure should the building get flooded during an extreme event. For example, the building will be constructed in a manner that will make it flood resilient. Electrical points and lights switches will be fed from the ceiling and will be placed above the flood level. Furthermore, it is proposed to reduce the existing ground level in the car park by an average of 50mm to increase the flood storage capacity on the site.
- 7.18 The Environment Agency were consulted on the amended FRA and have responded by raising no objection subject to a condition (Condition 27 below) requiring the proposed flood mitigation measures to be implemented. Accordingly, the impact on flooding is considered acceptable.
- 7.19 With regard to surface water drainage, the applicant is proposing to install a geocellular attenuation tank underneath the new car park as a suitable form of a Sustainable Drainage System (SuDS). The Lead Local Flood Authority (Surrey County Council) were consulted and have responded by stating they cannot recommend that planning permission be granted because the

proposed surface water strategy does not comply with the requirements laid out under the Technical Standards. This is the subject on ongoing discussions and it is anticipated that this issue will be resolved prior to the meeting. I will update Members orally at the meeting.

### Ecology

- 7.20 Policy EN8 of the CS and P DPD states that the Council will seek to protect and improve the landscape and biodiversity of the Borough by ensuring that new development, wherever possible, contributes to an improvement in the landscape and biodiversity and also avoids harm to features of significance in the landscape or of nature conservation interest. It is also important to note the guidance regarding protected species in Circular 06/2005. This states that *"it is essential that the presence or otherwise of protected species and the extent that they may be affected by the proposed development, is established before the planning permission is granted, otherwise all relevant material considerations may not have been addressed in making the decision."*
- 7.21 The site comprises a number of relatively old disused buildings to be demolished, which have the potential to house bat roosts. In addition, there are several trees and other vegetation on the site, particularly in the underdeveloped piece of land at the northern end, which also have the potential to be accommodate bats. Consequently, a Preliminary Ecological Appraisal and Bat Survey has been submitted with the planning application to consider the value of the existing wildlife habitat and the impact on any Protected Species. The Bat Survey has confirmed that no bats were recorded (or any evidence of bats) emerging from any of the existing buildings or trees. In addition, the Appraisal confirms that the site is unsuitable to support any other Protected Species. Consequently, there is no objection to the removal of the buildings and trees on wildlife grounds. It does however, advise that the existing trees and shrubs have medium potential to support common breeding bird species and it is therefore recommended that any removal of vegetation should be carried out outside the main bird nesting season of March to August. I have therefore attached an informative to bring this to the applicant's attention. The Appraisal also recommends that wildlife enhancement measures (e.g. bird boxes) are carried out and incorporated into the development and I have therefore attached a condition to ensure that these measures are carried out. The Surrey Wildlife Trust were consulted on the application and have responded by raising no objection but recommend that the proposed measures set out in the appraisal are carried out to help prevent adverse effect to legally protected bats, which can be secure by condition. Accordingly the impact on ecology is considered acceptable.

### Archaeology

- 7.22 The site is located within a designated Area of High Archaeological Potential. The designated area covers the central part of Staines upon Thames, including the High Street. The applicant has submitted an archaeological Desk Based Assessment (DBA), as required by saved Local Plan Policy BE25.

- 7.23 The County Archaeologist was consulted and has responded by raising no objection subject to the imposition of a condition requiring the implementation of a programme of archaeological work in accordance with a written scheme of investigation. He comments the proposed development has the potential to involve large scale ground disturbance and agrees with the recommendation in the DBA that a programme of archaeological evaluation is required. Subject to the imposition of the condition, the proposal is considered acceptable on archaeological grounds.

#### Loss of Trees

- 7.24 The proposal involves the removal of a number of trees and other landscaping on the site. This includes a group of trees located at the north-eastern corner of the site, adjacent to Mustard Mill Road, and a separate Cherry tree immediately next to the Mustard Mill Road pavement. The existing planting is seen in context with a belt of landscaping located all along the western side of Mustard Mill Road which was carried out when the Two Rivers Shopping Centre was being built. The Council's Tree Officer was consulted on the application and responded by raising some reservations regarding the loss of the existing trees and other landscaping on the site. However, none of these trees are protected by a Tree Preservation Order. Whilst the applicant has confirmed that they are not able to retain the existing planting, they have agreed to plant some substantial trees at the northern end of the new car park in a similar location to the existing group of trees. These include 4 no. semi-mature trees (i.e girth of 20cm – 25cm; 5m – 6m in height), and other planting within the site. The replacement tree planting will help to repeat an element of the existing tree group to be removed. On balance, I consider the replacement planting to be acceptable.

#### Other Matters

- 7.25 Thames Water has raised no objection to the proposal and has recommended conditions to be imposed. They have requested that the applicant carries an impact study to ascertain whether the proposed development will lead to overloading of existing infrastructure. A copy of the Thames Water response has been forwarded to the applicant and they have been requested to investigate this issue. However, it is relevant to note that Thames Water have not provided any evidence to demonstrate that the development will indeed overload the existing infrastructure. Thames Water's requirement of an assessment is a standard and sensible practice for larger developments. The applicant will be required to obtain Thames Water's consent to connect to the public sewer and an informative has been attached to this effect.
- 7.26 With regard to the Crime Prevention Officer's comments, I do not consider it is appropriate to impose a condition, as requested, relating to "Secured by Design". Many of the requirements are very detailed (e.g. details of locks for the hotel rooms), elements which are not normally covered and enforced under the planning regulations. Conditions are to be imposed requiring an external lighting scheme to be implemented and full details of cycle parking facilities to be submitted, partly for security purposes. A copy of the officer's response has been forwarded to the applicant and it is proposed to add a relevant informative to the decision notice.



- 7.27 In terms of renewable energy, the applicant is proposing install a Combined Heat and Power System (CHP) in order to achieve the 10% on-site renewable energy requirement required by Policy CC1 of the CS & P DPD. The Council's Sustainability Officer has confirmed that the CHP proposal (which is a revision on an earlier renewable energy proposal) is acceptable.
- 7.28 There are no existing neighbouring residential properties that will be adversely affected by the new development. Whilst the first and second floor of the adjacent 'Courtyard' are to be converted into flats, there will be a gap of between 4.6m – 8.5m between the two buildings and I consider the relationship to be acceptable.
- 7.29 It is noted that the Council's Pollution Control Officer has requested further information regarding the kitchen extraction system associated with the hotel restaurant, in the interest of protecting the local amenity from cooking odours. The applicant has not been able to submit these details at this stage and has requested that this issue is reserved by imposing a suitable condition. The proposed kitchen is located at first floor level to the rear of the restaurant. The proposed plans show the provision of a substantial plant area to be sited at first floor level behind the kitchen. Whilst it would be preferable for the details of the kitchen extraction system to be submitted up front with the application, in view of the size of the building and plot, and the position of the proposed kitchen and plant area, I am satisfied that there is more than adequate space at the rear of the building, well away from neighbouring properties, to accommodate a suitable kitchen extraction system and that this matter can be addressed by a condition.
- 7.30 The Council's Pollution Control Officer has raised no objection on air quality grounds subject to conditions controlling dust during demolition and construction. They have also requested a condition requiring the installation of trickle and fast charging points in the car park in the interest of sustainability.
- 7.31 With regard to the concerns raised by Spelthorne Committee for Access Now (SCAN), the applicant has responded by making the following comments:

*“Inclusive access has been fully considered with the latest standards being referred to and adopted:*

- *The facilities are designed to be inclusive and will be designed in accordance with the latest Building Regulations Approved Document M Part 2 2015 edition.*
- *In addition they will conform fully with Premier Inn inclusivity requirements which are over and above these requirements.*
- *Where some detailed information is not referred to or detailed in either of the above requirements, cognisance is taken of BS 8300: 2009+A1: 2010 to ensure the solution is inclusive.*

*The UA (Universal Access) rooms have been located on the High Street wing of the hotel for a number of reasons:*

- *This wing has a shorter length of corridor and has therefore easier access to the lifts and escape stairs at either end.*
- *The rooms are larger and wider than the standard rooms, therefore for technical and architectural reasons it makes more sense for these to be grouped together on two floors above one-another so that the services and architectural elements can be better co-ordinated.*
- *The rooms share the same corridor with standard rooms so it is relatively easy to mix the usage between Standard and UA if required.*
- *An increased number of UA rooms have been provided than is actually required by the regulations.*
- *Some of the UA rooms are inter-connecting (as with some of the Standard rooms) should this be a requirement.”*

7.32 It is considered that sufficient consideration has been given to designing the scheme to be accessible to disabled persons.

7.33 With regard to the proposed legal agreement, the highway related financial contributions are relatively small (£10463.99 in total). The applicant is therefore proposing to cover these payments by serving an “Unilateral Undertaking” (UU) form of legal agreement. The Council’s legal department agrees to the principle of this type of agreement has been in discussion with the applicant regarding a draft UU. This issue is subject to ongoing discussions and I will update Members orally at the meeting.

### Conclusion

7.34 The site is currently disused and the proposal will secure the redevelopment of the site for retail and hotel purposes, uses which will significantly contribute to the vitality and viability of the High Street and bring economic benefits to Staines Town Centre. The glazed corner feature, the retail frontage and first floor hotel restaurant will act as a gateway to the pedestrianised High Street and make a positive contribution to the area. There is a variation in the design and scale of existing buildings in the area and the proposed design and appearance is considered acceptable. There are also clearly employment/economic benefits and the proposal is in compliance with the Council’s shopping and employment planning policies. Accordingly, the application is recommended for approval.

## **8. Recommendation**

8.1 A) Subject to the Local Lead Flood Authority removing their sustainable drainage objection; and,

B) subject to the applicant first entering into an appropriate legal agreement in respect of the following:

1. To secure a financial contribution of £6150 towards auditing the monitoring of a travel plan.
2. To secure a financial contribution of £4313.99 towards reviewing the Staines UTC SCOOT.

8.2 GRANT subject to the following conditions:-

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:- This condition is required by Section 91 of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans and drawings:

140118-A-P-00-D104 A; /-A-E-Existing-D100; 10004-121; 24823 received 11<sup>th</sup> November 2015

140118-A-Si-00-D101 Rev. A received 28 January 2016

140118-A-E-East-D102 Rev. AE; /-A-E-Wst-D103 Rev. L; /-A-P-00-D106 Rev. AC; /A-P-01-D107 Rev. AC; /-A-P-02-D108 Rev. Y; /-A-P-03-D109 Rev. Y; /-A-P-04-D110 Rev. Y; /-A-P-06-D112 Rev. X; /-A-X-VA-D121 Rev. F received 06 July 2016

140118-A-P-00-D105 Rev. AD received 13<sup>th</sup> July 2016

Reason:- For the avoidance of doubt and in the interest of proper planning

3. Before any work on the development hereby permitted is first commenced details of the materials and detailing to be used for the external surfaces of the building and the surface material for the parking areas be submitted to and approved by the Local Planning Authority.

Reason:- To ensure that the proposed development does not prejudice the appearance of the development and the visual amenities and character of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

4. No development shall take place until:-

(a) A comprehensive desk-top study, carried out to identify and evaluate all potential sources and impacts of land and/or groundwater contamination relevant to the site, has been submitted to and approved in writing by the Local Planning Authority.

(b) Where any such potential sources and impacts have been identified, a site investigation has been carried out to fully characterise

the nature and extent of any land and/or groundwater contamination and its implications. The site investigation shall not be commenced until the extent and methodology of the site investigation have been agreed in writing with the Local Planning Authority.

(c) A written method statement for the remediation of land and/or groundwater contamination affecting the site shall be agreed in writing with the Local Planning Authority prior to the commencement of remediation. The method statement shall include an implementation timetable and monitoring proposals, and a remediation verification methodology.

The site shall be remediated in accordance with the approved method statement, with no deviation from the statement without the express written agreement of the Local Planning Authority.

Reason:-

(a) To protect the amenities of future residents and the environment from the effects of potentially harmful substances.

#### NOTE

The requirements of the above Condition must be carried out in accordance with current best practice. The applicant is therefore advised to contact Spelthorne's Pollution Control team on 01784 446251 for further advice and information before any work commences. An information sheet entitled "Land Affected By Contamination: Guidance to Help Developers Meet Planning Requirements" providing guidance can also be downloaded from Spelthorne's website at [www.spelthorne.gov.uk](http://www.spelthorne.gov.uk).

In accordance with policies SP6 and EN15 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

5. Prior to the first use or occupation of the development, and on completion of the agreed contamination remediation works, a validation report that demonstrates the effectiveness of the remediation carried out shall be submitted to and agreed in writing by the Local Planning Authority.

Reason:- To protect the amenities of future residents and the environment from the effects of potentially harmful substances.

6. No development shall commence until a report has been submitted to and agreed by the Local Planning Authority which includes details and drawings demonstrating how 10% of the energy requirements generated by the development as a whole will be achieved utilising renewable energy methods and showing in detail the estimated sizing of each of the contributing technologies to the overall percentage. The detailed report shall identify how renewable energy, passive energy and efficiency measures will be generated and utilised for each of the proposed buildings to meet collectively the requirement for the scheme. The agreed measures shall be implemented with the construction of

each building and thereafter retained and maintained to the satisfaction of the Local Planning Authority unless otherwise agreed in writing.

Reason:- To ensure that the development is sustainable and complies with Policy SP7 and CC1 of the Spelthorne Development Plan Core Strategy and Policies DPD.

7. No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the buildings are occupied. Development shall be carried out in accordance with the approved details and maintained as approved.

Reason:- To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

8. No development shall take place until full details of both soft and hard landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The landscape works shall include the planting of 4 no. semi-mature trees (at least 20cm – 25cm girth) in the north-eastern part of the site including details of their planting pits. The trees and shrubs shall be planted on the site within a period of 12 months from the date on which development hereby permitted is first commenced, or such longer period as may be approved by the Local Planning Authority, and that the planting so provided shall be maintained as approved for a period of 5 years, such maintenance to include the replacement in the current or next planting season whichever is the sooner, of any trees or shrubs that may die, are removed or become seriously damaged or diseased, with others of similar size and species, unless the Local Planning Authority gives written permission to any variation.

Reason:- To minimise the loss of visual amenity occasioned by the development and to enhance the proposed development.

9. No new development shall be occupied until space has been laid out within the site in accordance with the approved plan for cars to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. The parking/turning area shall be maintained exclusively for its designated use.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and Policies CC2 and CC3 of Spelthorne Development Plan Core Strategy and Policies Development Plan Core Strategy and Policies DPD.

10. A Delivery Management Plan as shown in the Scope of Delivery Management Plan dated June 2015 shall be used for deliveries and collections to the site in accordance with details to be submitted to and approved in writing by the Local Planning Authority and thereafter permanently maintained.

Reason:- The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and Policy CC2 of Spelthorne Development Plan Core Strategy and Policies Development Plan Core Strategy and Policies DPD.

11. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
  - (b) loading and unloading of plant and materials
  - (c) storage of plant and materials
  - (d) programme of works (including measures for traffic management)
  - (e) provision of boundary hoarding behind any visibility zones
  - (h) measures to prevent the deposit of materials on the highway
  - (k) on-site turning for construction vehicles
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:- The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policy CC2 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

12. Notwithstanding the submitted Framework Travel Plan dated June 2015 prior to the commencement of the development a revised Framework Travel Plan shall be submitted for the written approval of the Local Planning Authority in accordance with the sustainable development aims and objectives of the National Planning Policy Framework, and Surrey County Council's "Travel Plans Good Practice". And then the approved Framework Travel Plan shall be implemented upon first occupation and for each and every subsequent occupation of the development, thereafter maintain and develop the Travel Plan to the satisfaction of the Local Planning Authority.

Reason:- The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policy CC2 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

13. No new development shall be occupied until space has been laid out

within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority to provide secure, lit and covered cycle parking to the satisfaction of the Local Planning Authority and shall thereafter be permanently maintained

Reason:- The above condition is required in recognition of Section 4 (Promoting Sustainable Transport) of the NPPF

14. Construction of the development hereby approved must only be carried out on site between 08:00 – 18:00 Monday to Friday, 08:00 – 13:00 Saturday and none at all on Sunday, Public Holidays or Bank Holidays.

Reason:- In the interest of amenity

15. Transport associated with the demolition and construction of the development must not arrive on-site earlier than 07.30 hours and should leave the site before 18.00 hours, unless otherwise agreed in writing by the Local Planning Authority.

Reason:- In the interest of amenity.

16. Any plant installed in association with the proposed development shall be at least 5dB(A) below the background noise at the nearest noise sensitive property as assessed using the guidance contained within BS 4142 (1997).

Reason:- To safeguard the amenity of neighbouring properties

17. Before any development commences, details including a technical specification of all proposed external lighting shall be submitted to and approved in writing by the Local Planning Authority. The external lighting on the site shall at all times accord with the approved details.

Reason:- In the interest of security and the visual amenities of the area.

18. No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the Planning Authority.

Reason: The site is located within an Area of High Archaeological Potential, is capable of containing archaeological remains and it is important that the archaeological information should be preserved as a record before it is destroyed by the development.

19. Development shall not commence until a drainage strategy detailing any on and/or off site drainage works, has been submitted to and approved by, the local planning authority in consultation with the sewerage undertaker. No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

Reason - The development may lead to sewage flooding; to ensure that sufficient capacity is made available to cope with the new development; and in order to avoid adverse environmental impact upon the community

20. No piling shall take place until a piling method statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure.

21. No building operations shall commence until a Dust Management Plan detailing dust suppression and other mitigation measures during construction shall be submitted to and approved in writing by the Local Planning Authority. The agreed measures shall be implemented in accordance with the approved details.

Reason:- To safeguard the amenity of neighbouring properties.

22. No demolition, site clearance or building operations shall commence until a Demolition Method statement has been submitted to and approved in writing by the Local Planning Authority. The demolition works shall be carried out strictly in accordance with the approved method statement.

Reason:- To safeguard the amenity of neighbouring properties.

23. 1) Prior to the occupation of the hotel hereby permitted:
- a) Details of suitable ventilation and filtration equipment to be installed shall be submitted to and approved by the Local Planning Authority. This should comprise odour abatement and sound attenuation measures (so that the noise levels are 5 dBA below background).
  - b) The specific maintenance schedule for the approved abatement system shall be submitted to and approved by the Local Planning Authority. This must be based on the manufacturer's recommendations, taking food type and hours of cooking into account.
  - c) The approved details shall be installed prior to the occupation of the premises for the use hereby permitted. Proof of correct installation and correct function shall be submitted.

- 2) The installed ventilation and filtration equipment shall thereafter be



operated and maintained to the satisfaction of the Local Planning Authority. Maintenance records should be kept for a period of two years. These should include receipts for consumables, certificates of cleaning, and staff records of cleaning and changing filters.

Reason:- In the interests of the amenities of the area and the amenities of the occupiers of nearby premises.

24. No new development shall be occupied until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for a trickle charging point and fast charging point to be provided for the hotel users. The trickle charging/fast charging points shall be retained exclusively for their designated purpose.

Reason:- The above condition is required in recognition of Section 4 (Promoting Sustainable Transport) of the NPPF

25. The proposed bat roost measures shall be carried out strictly in accordance with the recommendations in Section 4 of the Bat Surveys Report by The Ecology Consultancy dated 25<sup>th</sup> June 2015.

Reason:- In the interest of safeguarding bats which are a protected species.

26. Prior to the commencement of development, a scheme to provide bird boxes on the site shall be submitted to and approved in writing by the Local Planning Authority. The agreed scheme shall be implemented before the buildings are occupied and thereafter maintained.

Reason:- To encourage wildlife on the site.

27. The development permitted by this planning permission shall be carried out in accordance with Flood Risk Assessment (FRA) reference J2187-Doc-03 Revision X8 prepared by Webb Yates Engineers Ltd and the following mitigation measures detailed within the FRA:

- Provision of flood water storage by lowering the car park as demonstrated in the Flood Risk Assessment;
- Finished floor levels will be set no lower than 15.56 metres Above Ordnance Datum (AOD);
- Flood resilience and resistance measures will be into the design of the building.

The mitigation measures shall be fully implemented prior to occupation and subsequently in accordance with the timing / phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason:- To reduce the risk of flooding to the proposed development and future occupants. This is sought in accordance with paragraph 103 of the NPPF.

28. Before the detailed design of the Sustainable Drainage System assets is approved by the local planning authority the applicant shall supply a site investigation report with evidence of low infiltration rates. This shall be submitted to and approved by the Local Planning Authority.

Reason: To ensure that a satisfactory Sustainable Drainage System is provided on the site.

29. Prior to construction of the development hereby approved the following drawings need to be supplied:
- An impervious area plan
  - Long or cross sections of each SuDS Element

These must be submitted to and approved by the local planning authority

Reason: To ensure the drainage design meets the technical standards

30. Before the commencement of the construction of the building hereby approved, details of how the Sustainable Drainage System will be protected and maintained during the construction of the development shall be submitted to and approved by the Local Planning Authority. The development shall thereafter be carried out in strict accordance with those approved details

Reason: To ensure that the construction works do not compromise the functioning of the agreed Sustainable Drainage System.

31. The Sustainable Drainage System shall be implemented and thereafter managed and maintained in accordance with the agreed details supplied within the "Name of Maintenance Document" submitted on Date.

Reason: To ensure the drainage system is maintained throughout its life time.

32. The Sustainable Urban Drainage System hereby agreed shall not be carried out except in complete accordance with the following agreed plans (insert plan numbers).

Reason: To ensure an acceptable Sustainable Drainage System and to comply with (Local Policy Ref) of the (District / Borough Local Plan or Core Strategy) and the advice contained within the NPPF, NPPG and Non-Statutory Technical Standards for SuDS.

33. Prior to operation, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local

Planning Authority to demonstrate that the Sustainable Urban Drainage System has been constructed as per the agreed scheme.

Reason: To ensure the Sustainable Drainage System complies with the technical standards

34. Notwithstanding the provisions of the Town and Country Planning General Permitted Development Order 2015 (or any Order revoking and re-enacting that Order), the ground floor retail unit shall be used only for purposes within Use Class A1 of the Schedule to the Town and Country Planning (Use Classes) Order 1987 (as amended), or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order.

Reason:-.To safeguard the retail use in the interest of the vitality and viability of the Staines primary shopping area.

### Informatives

1. A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk Management Team by telephoning 02035779483 or by emailing [wwriskmanagement@thameswater.co.uk](mailto:wwriskmanagement@thameswater.co.uk). Application forms should be completed on line via [www.thameswater.co.uk/wastewaterquality](http://www.thameswater.co.uk/wastewaterquality)."
2. Thames Water recommends the installation of a properly maintained fat trap on all catering establishments. We further recommend, in line with best practice for the disposal of Fats, Oils and Grease, the collection of waste oil by a contractor, particularly to recycle for the production of bio diesel. Failure to implement these recommendations may result in this and other properties suffering blocked drains, sewage flooding and pollution to local watercourses.
3. The applicant is advised that any removal of existing trees and other vegetation should be carried out outside the main bird nesting season (March to August inclusive), as recommended in the submitted Preliminary Ecological Assessment.
4. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in

advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see [www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice](http://www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice).

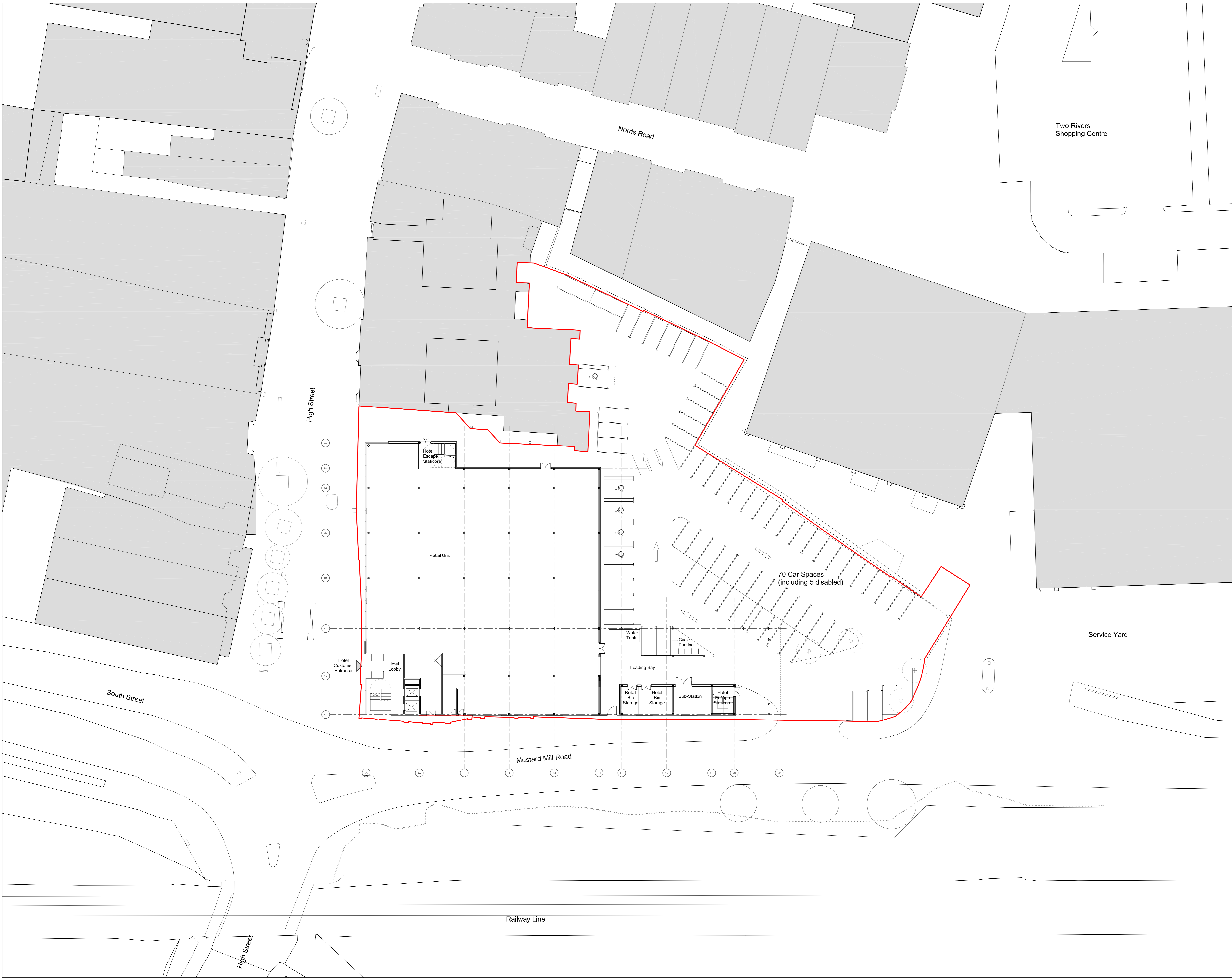
5. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
6. The developer is advised that as part of the detailed design of the highway works required by the above condition(s), the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
7. The applicant's attention is drawn to the ACPO/Home Office Secured by Design (SBD) award scheme, details of which can be viewed at [www.securedbydesign.com](http://www.securedbydesign.com).
8. The applicant is advised to make contact with Thames Water to discuss the requirements of an impact study in relation to the existing Thames Water infrastructure.

#### **Decision Making: Working in a Positive and Proactive Manner**

In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 186-187 of the NPPF. This included the following:-

- a) Provided pre-application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development.
- b) Provided feedback through the validation process including information on the website, to correct identified problems to ensure that the application was correct and could be registered;
- c) Have suggested/accepted/negotiated amendments to the scheme to resolve identified problems with the proposal and to seek to foster sustainable development.

- d) Have proactively communicated with the applicant through the process to advise progress, timescales or recommendation.



**Notes**

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**SCALE BAR**

0m 2m 4m 6m 8m 10m 15m 20m

**Key**

Red Line Boundary

AD	13/07/2016	Relocated trees	AH
AC	28/08/2016	Ground floor level shown	AH
AB	27/08/2016	Shopfront extended adjacent to gridline 6	AH
AA	20/05/2016	Plan & Elevation updates to latest design	JM
Z	04/11/2015	Planning Submission	VM
Y	28/10/2015	Planning Submission	VM
X	07/08/2015	Planning Submission	VM
W	03/07/2015	Planning Submission	VM
V	30/06/2015	Planning Submission	SG
U	26/06/2015	Update	SG
T	18/06/2015	Parking Layout	VM
S	10/06/2015	F&B Layout	VM
R	11/06/2015	Parking Layout	VM
Q	21/05/2015	Update	VM
P	12/05/2015	Update	VM
O	28/04/2015	151 Rooms	VM
N	25/03/2015	Parking	VM
M	24/03/2015	119 Rooms	VM
L	26/03/2015	Update	VM
K	25/02/2015	Update	VM
J	16/02/2015	Update	VM
I	08/02/2015	Update - Goods lift	VM
H	29/01/2015	Update	VM
G	21/01/2015	Update	VM
F	19/01/2015	Update	VM
E	14/01/2015	Update and Materials	VM
D	09/01/2015	Bathrooms and Structure	VM
C	22/12/2014	115-bed option	JP
B	17/12/2014	114-bed option	JP
A	13/11/2014	Option 5A issue	JP

Client  
**Aberdeen Asset Management**

Project  
**90-106 High Street Staines**

Title  
**Proposed Site Plan**

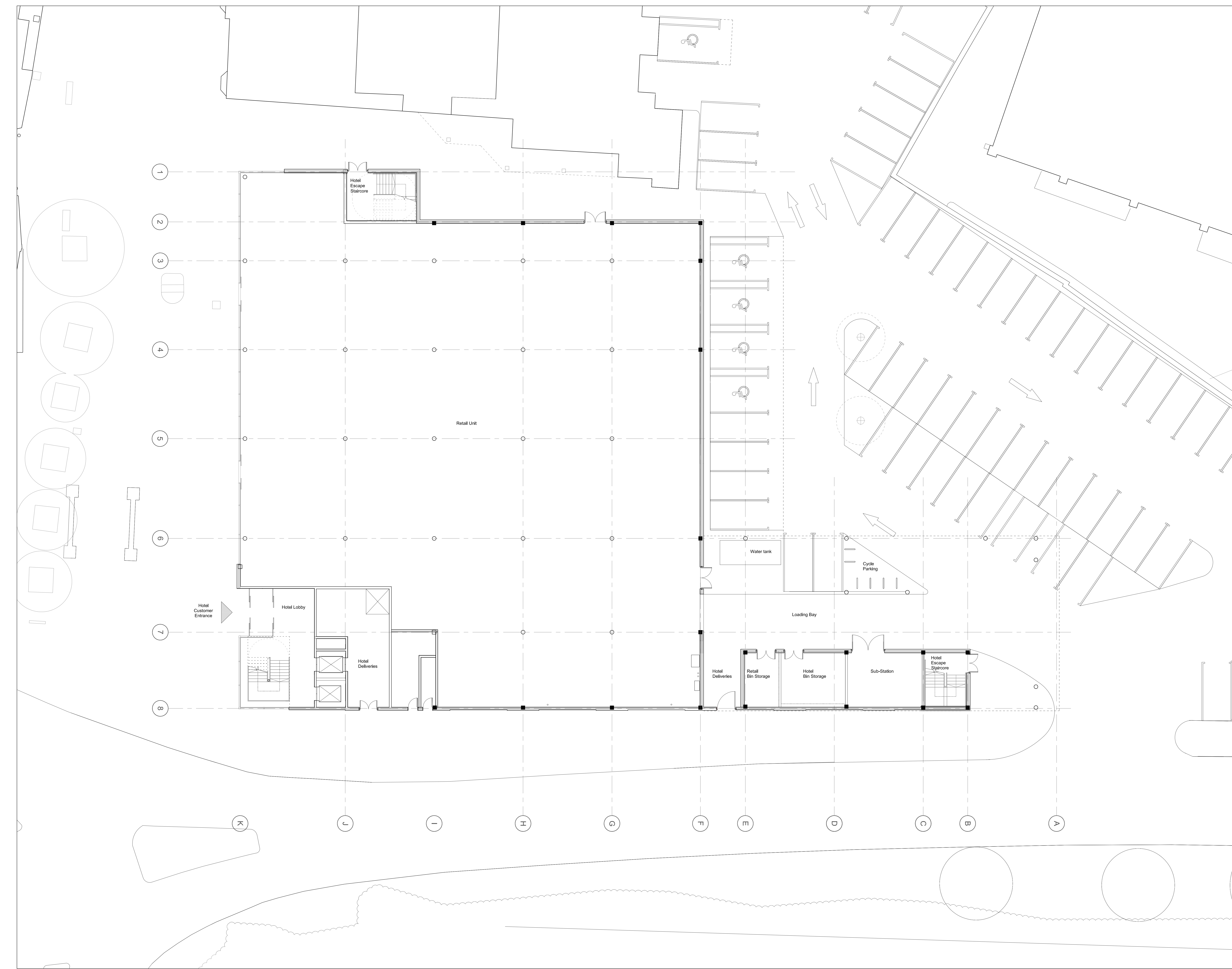
Scale	Size	Date	Drawn	Checked
1:200	AD	16/06/15	VM	JB

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Architect  
**3DR Reid**

Drawing No.  
**140118 - A - P - 00 - D105**

AD



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**SCALE BAR**  
 0m 2m 4m 6m 8m 10m

**AREA SCHEDULE**

	GEA	GIA
RETAIL	1,434.96 m <sup>2</sup>	1,392.44 m <sup>2</sup>
Bin Store	14.98 m <sup>2</sup>	12.70 m <sup>2</sup>
HOTEL	5,469.90 m <sup>2</sup>	5,190.46 m <sup>2</sup>
Bin Store	25.39 m <sup>2</sup>	22.70 m <sup>2</sup>
Sub St.	29.16 m <sup>2</sup>	25.80 m <sup>2</sup>
<b>TOTAL</b>	<b>6,974.39 m<sup>2</sup></b>	<b>6,644.10 m<sup>2</sup></b>

**HOTEL ROOM SCHEDULE**

FLOOR	STANDARD	STANDARD (3100mm wldt)	NON STANDARD	UA
1ST	20	10	0	0
2ND	30	10	0	6
3RD	30	10	0	6
4TH	22	10	1	0
<b>TOTAL</b>	<b>102</b>	<b>40</b>	<b>1</b>	<b>12</b>

**TOTAL ROOMS 155**

- AC 28/06/2018 Ground floor relief shown
- AB 20/05/2018 Shopfront extended adjacent to gridline 6
- AA 20/05/2018 Plan & Elevation updates to latest design
- Z 04/11/2015 Planning Submission
- V 28/01/2015 Planning Submission
- W 07/03/2015 Planning Submission
- V 28/01/2015 Planning Submission
- U 30/06/2015 Planning Submission
- T 28/06/2015 Update
- S 18/06/2015 F&B Layout
- R 11/06/2015 Parking Layout
- Q 21/05/2015 Update
- P 19/05/2015 Update
- O 28/04/2015 151 Rooms
- N 25/03/2015 Parking
- M 24/03/2015 119 Rooms
- L 26/03/2015 Update
- K 25/02/2015 Update
- J 16/02/2015 Update
- I 08/02/2015 Update - Goods lift
- H 29/01/2015 Update
- G 21/01/2015 Update
- F 18/01/2015 Update
- E 14/01/2015 Update and Materials
- D 09/01/2015 Bathrooms and Structure
- C 22/12/2014 115-bed option
- B 17/12/2014 114-bed option
- A 13/11/2014 Option SA issue

Client  
**Aberdeen Asset Management**

Project  
**90-106 High Street Staines**

Title  
**Proposed Ground Floor Plan**

Scale	Size	Date	Drawn	Checked
1:100	A0	16/06/15	VM	JB

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Architectural  
 Engineering  
 Interiors

**3D REID**

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**140118 - A - P - 00 - D106**

AC

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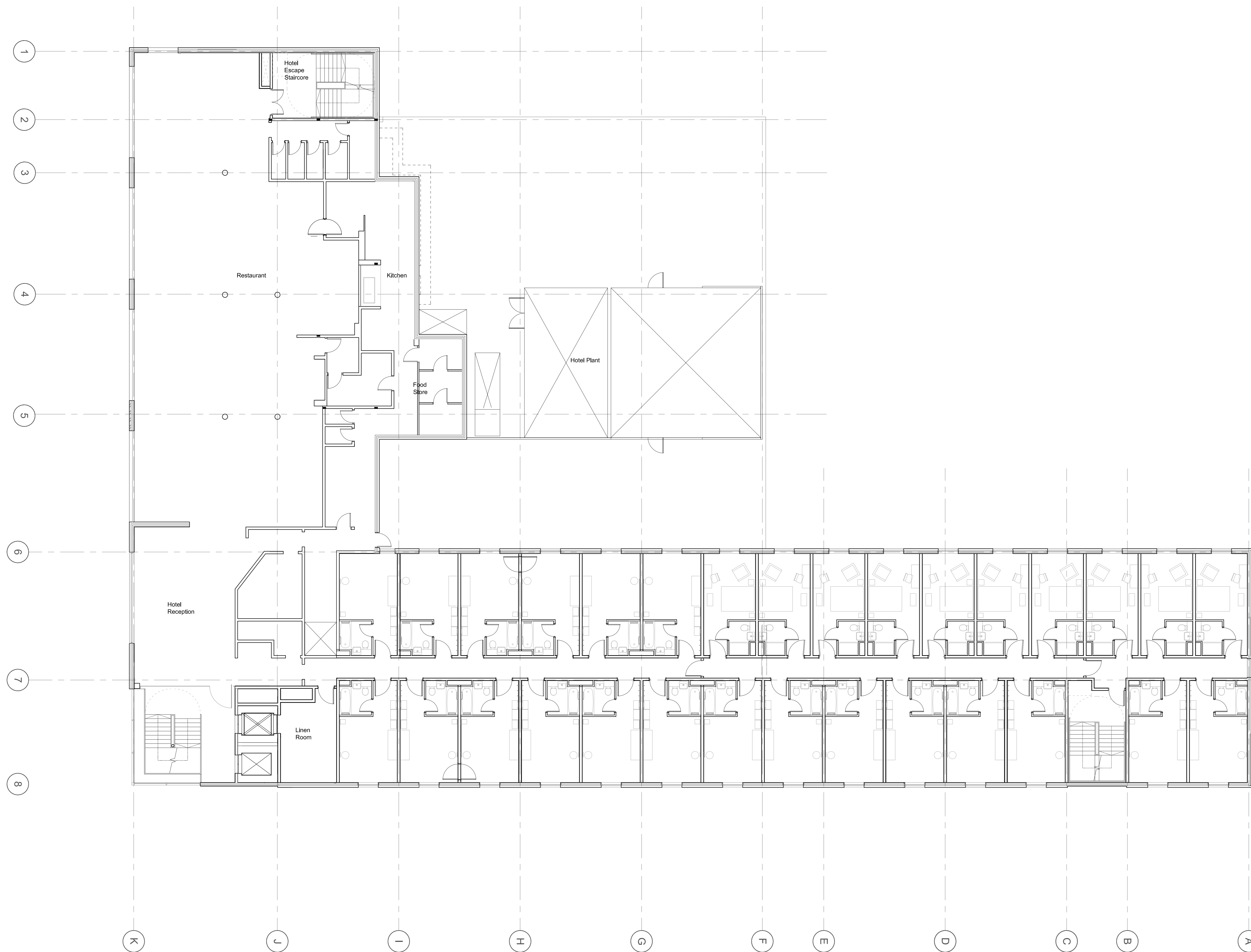
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**SCALE BAR**

**ROOM SCHEDULE**

STANDARD ROOMS	20
STANDARD ROOMS (3100mm width)	10
NON-STANDARD ROOMS	0
UA ROOMS	0
<b>TOTAL</b>	<b>30</b>



AC 30/06/2016 Window amendment	AH
AB 23/05/2016 Whole above	JM
AA 02/05/2016 Plan & Section updates to latest design	JM
Z 04/11/2015 Planning Submission	VM
Y 28/10/2015 Planning Submission	VM
W 07/08/2015 Planning Submission	VM
V 07/07/2015 Planning Submission	VM
U 30/06/2015 Planning Submission	SG
T 28/06/2015 Update	SG
S 18/06/2015 F&B Layout	VM
R 11/06/2015 Parking Layout	VM
Q 21/05/2015 Update	VM
P 19/05/2015 Update	VM
O 28/04/2015 151 Rooms	VM
N 25/03/2015 Parking	VM
M 24/03/2015 119 Rooms	VM
L 26/02/2015 Update	VM
K 25/02/2015 Update	VM
J 16/02/2015 Update	VM
I 08/02/2015 Update - Goods lift	VM
H 29/01/2015 Update	VM
G 21/01/2015 Update	VM
F 19/01/2015 Update	VM
E 14/01/2015 Update and Materials	VM
D 09/01/2015 Bathrooms and Structure	VM
C 22/12/2014 115-bed option	JP
B 17/12/2014 114-bed option	JP
A 13/11/2014 Option SA issue	JP

Client  
**Aberdeen Asset Management**

Project  
**90-106 High Street Staines**

Title  
**Proposed First Floor Plan**

Scale	Size	Date	Drawn	Checked
1:100	A0	16/06/15	VM	JB

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AC

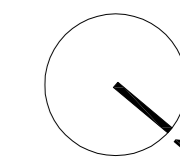


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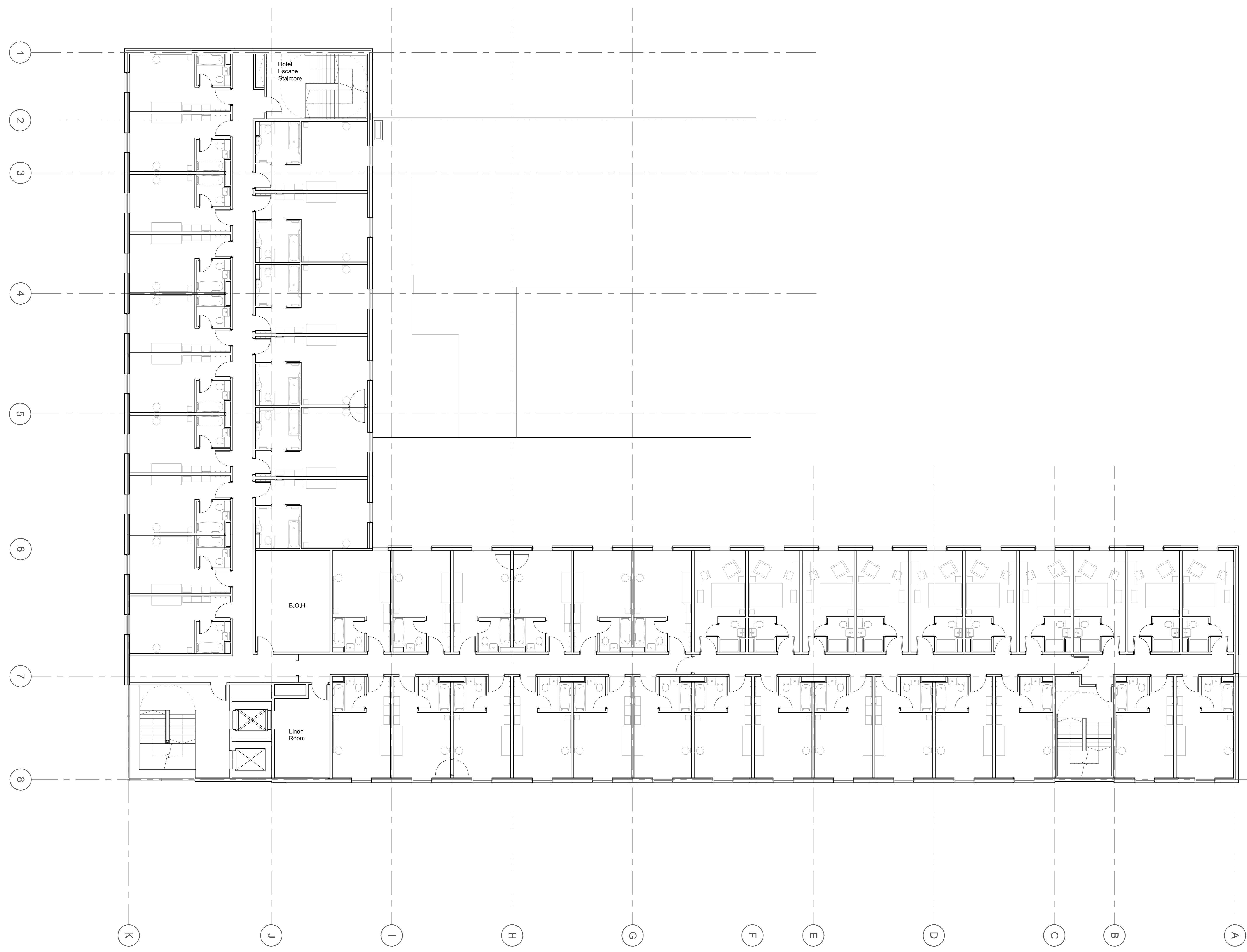
**SCALE BAR**

0m 2m 4m 5m 10m



**ROOM SCHEDULE**

STANDARD ROOMS	30
STANDARD ROOMS (3100mm width)	10
NON-STANDARD ROOMS	0
UA ROOMS	6
<b>TOTAL</b>	<b>46</b>



**Revisions**

Y	30/06/2015	Window amendment	AH
X	03/06/2015	Window screen	JM
W	26/05/2015	Plan & Elevation updates to latest design	JM
V	04/11/2015	Planning Submission	VM
U	28/10/2015	Planning Submission	VM
T	30/06/2015	Planning Submission	SG
S	20/06/2015	Update	SG
R	16/06/2015	F&B Layout	VM
Q	21/05/2015	Update	VM
P	19/05/2015	Update	VM
O	28/04/2015	Parting	VM
N	25/03/2015	Parting	VM
M	24/03/2015	119 Rooms	VM
L	26/03/2015	Update	VM
K	25/02/2015	Update	VM
J	16/02/2015	Update	VM
I	08/02/2015	Update - Goods RT	VM
H	29/01/2015	Update	VM
G	21/01/2015	Update	VM
F	19/01/2015	Update	VM
E	14/01/2015	Update and Materials	VM
D	09/01/2015	Bathrooms and Structure	VM
C	22/12/2014	115-bed option	JP
B	17/12/2014	114-bed option	JP
A	13/11/2014	Option SA issue	JP

Client  
**Aberdeen Asset Management**

Project  
**90-106 High Street Staines**

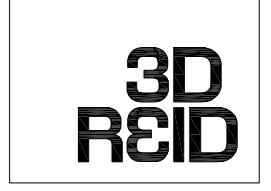
Title  
**Proposed Second Floor Plan**

Scale	Size	Date	Drawn	Checked
1:100	A0	16/06/15	VM	JB

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Architect  
**3DR Reid**

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Y

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**SCALE BAR**

**ROOM SCHEDULE**

STANDARD ROOMS	30
STANDARD ROOMS (3100mm width)	10
NON-STANDARD ROOMS	0
UA ROOMS	6
<b>TOTAL</b>	<b>46</b>



Revisions

Y	30/06/2015	Window amendment	JM
X	23/06/2015	Window shown	JM
W	20/05/2015	Plan & Elevation updates to latest design	JM
V	04/11/2015	Planning Submission	VM
U	28/10/2015	Planning Submission	VM
T	30/06/2015	Planning Submission	SG
S	30/06/2015	Update	SG
R	16/06/2015	F&B Layout	VM
Q	21/05/2015	Update	VM
P	19/05/2015	Update	VM
O	28/04/2015	Parting	VM
N	25/03/2015	Parting	VM
M	24/03/2015	119 Rooms	VM
L	26/03/2015	Update	VM
K	25/02/2015	Update	VM
J	16/02/2015	Update	VM
I	08/02/2015	Update - Goods lift	VM
H	29/01/2015	Update	VM
G	21/01/2015	Update	VM
F	19/01/2015	Update	VM
E	14/01/2015	Update and Materials	VM
D	09/01/2015	Bathrooms and Structure	VM
C	22/12/2014	115-bed option	JP
B	17/12/2014	114-bed option	JP
A	13/11/2014	Option SA issue	JP

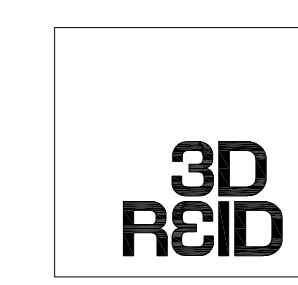
Client  
**Aberdeen Asset Management**

Project  
**90-106 High Street Staines**

Title  
**Proposed Third Floor Plan**

Scale	Size	Date	Drawn	Checked
1:100	A0	16/06/15	VM	JB

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Drawing No.  
**140118-A - P - 03 - D109**

Y

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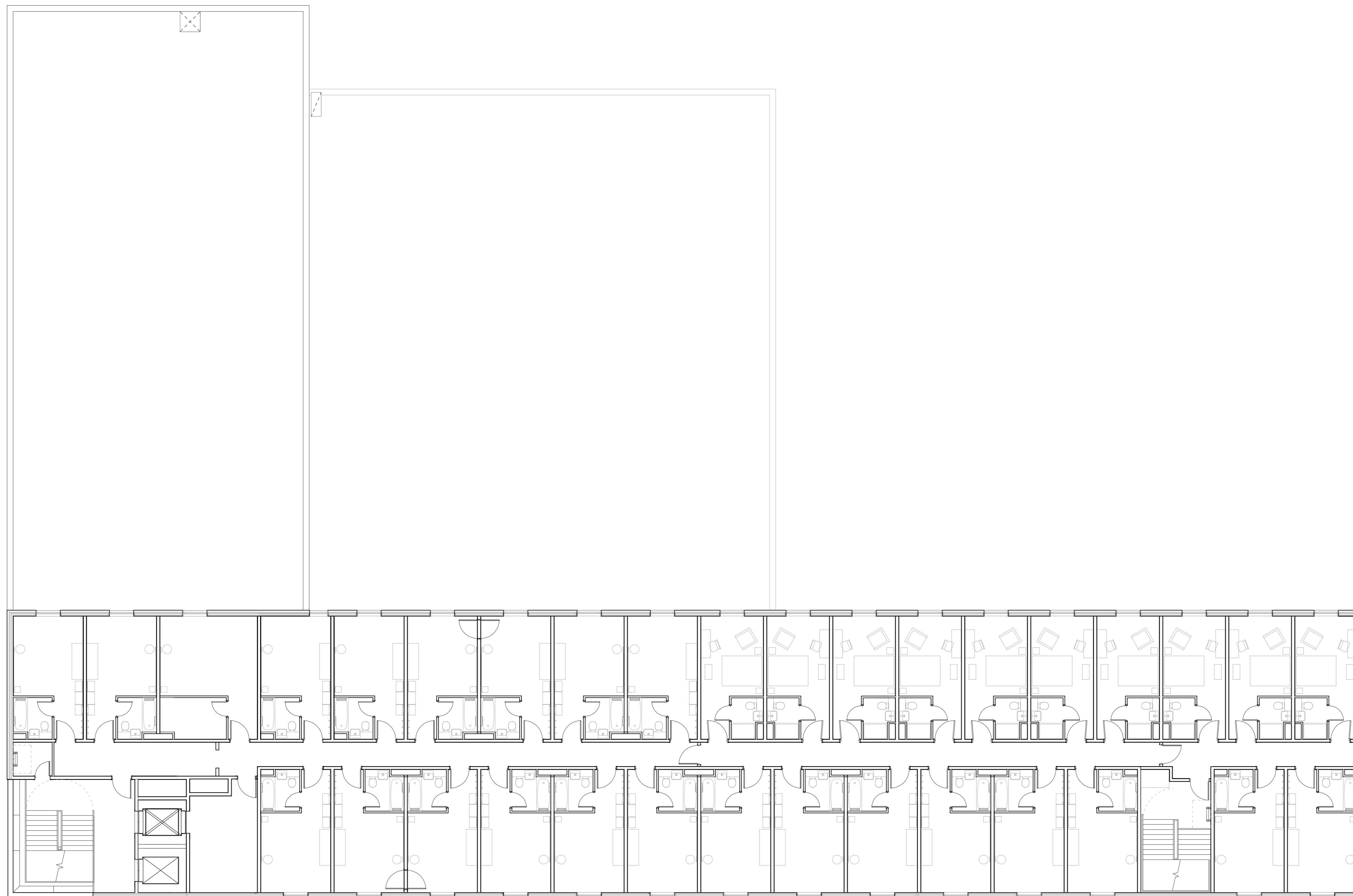
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**SCALE BAR**

**ROOM SCHEDULE**

STANDARD ROOMS	22
STANDARD ROOMS (3100mm width)	10
NON-STANDARD ROOMS	1
UA ROOMS	0
<b>TOTAL</b>	<b>33</b>



Y	30/06/2015	Window amendment	JM
X	23/05/2015	Window detail	JM
W	20/05/2015	Plan & Elevation updates to latest design	JM
V	20/05/2015	Planning Submission	VM
U	20/05/2015	Planning Submission	SG
T	20/05/2015	Roof Access - Dust Zone	SG
S	20/05/2015	Update	SG
R	16/06/2015	F&B Layout	VM
Q	21/05/2015	Update	VM
P	19/05/2015	Update	VM
O	20/04/2015	Parting	VM
N	25/03/2015	Parting	VM
M	24/03/2015	119 Rooms	VM
L	26/03/2015	Update	VM
K	25/02/2015	Update	VM
J	16/02/2015	Update	VM
I	08/02/2015	Update - Goods lift	VM
H	29/01/2015	Update	VM
G	21/01/2015	Update	VM
F	19/01/2015	Update	VM
E	14/01/2015	Update and Materials	VM
D	09/01/2015	Bathrooms and Structure	VM
C	22/12/2014	115-bed option	JP
B	17/12/2014	114-bed option	JP
A	13/11/2014	Option SA issue	JP

Revisions

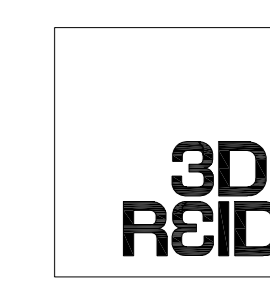
Client  
**Aberdeen Asset Management**

Project  
**90-106 High Street Staines**

Title  
**Proposed Fourth Floor Plan**

Scale	Size	Date	Drawn	Checked
1:100	A0	16/06/15	VM	JB

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**3DR Reid**

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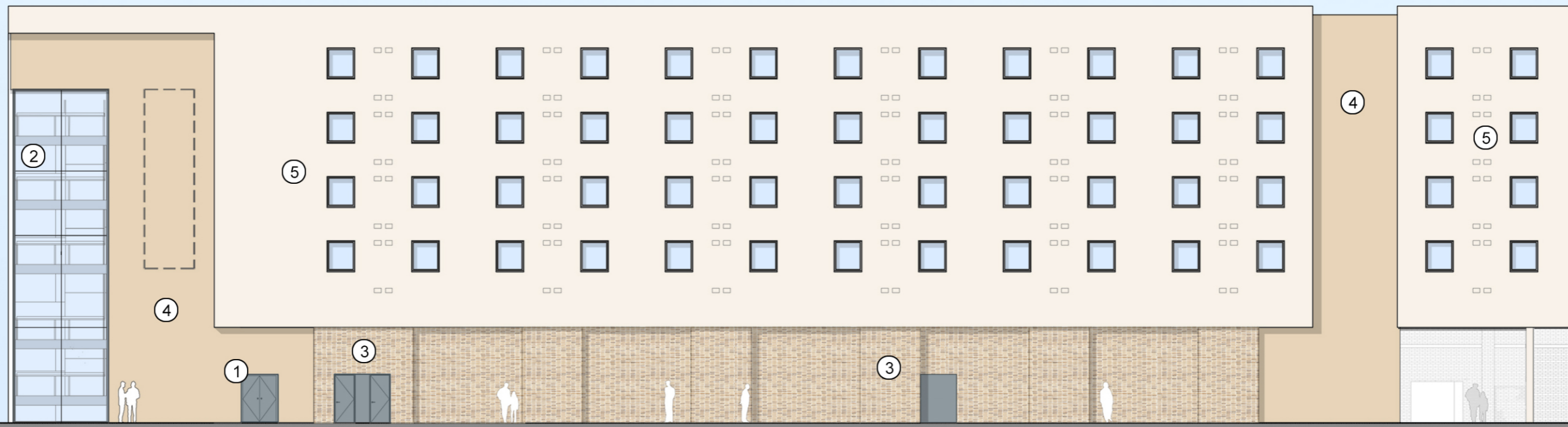


Material Samples Legend

- 1 Kingspan Metal Panel RAL 7016
- 2 Glazing
- 3 London Stock Brickwork
- 4 Permarock Render Colour Marill 50
- 5 Permarock Render Colour Marill 30

90-106 High Street Staines-Upon-Thames  
 High Street / South Elevation  
 Scale 1:200 @ A3



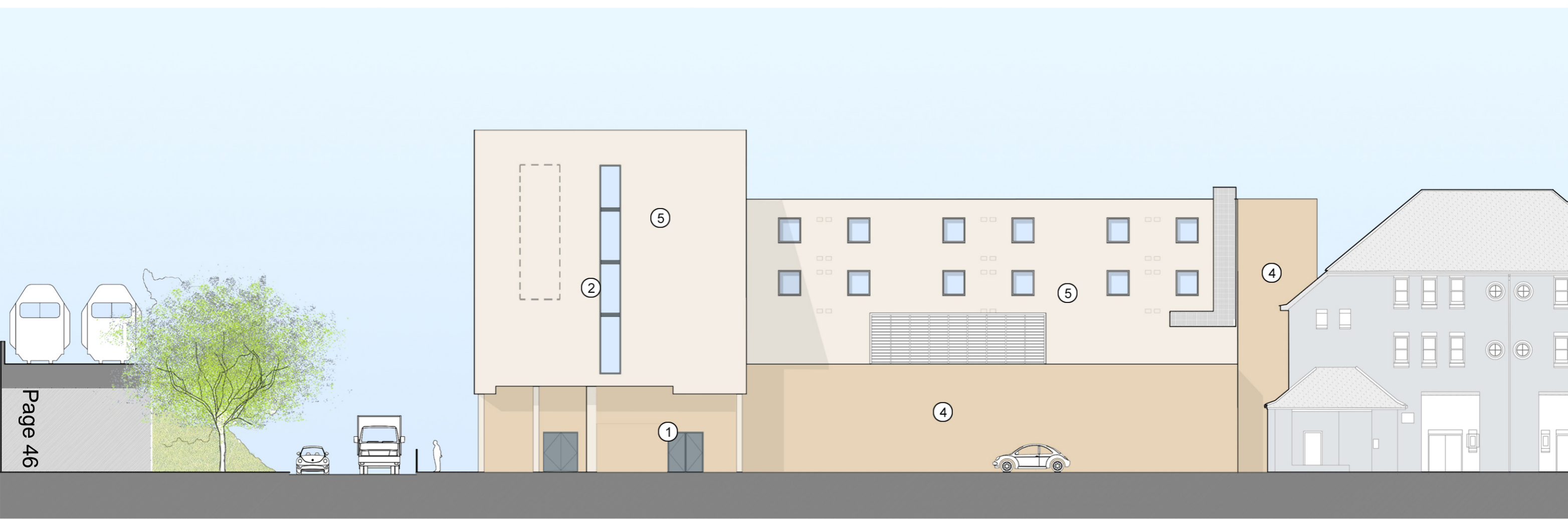


Material Samples Legend

- 1 Kingspan Metal Panel RAL 7016
- 2 Glazing
- 3 London Stock Brickwork
- 4 Permarock Render Colour Marill 50
- 5 Permarock Render Colour Marill 30

90-106 High Street Staines-Upon-Thames  
 Mustard Mill / East Elevation  
 Scale 1:200 @ A3



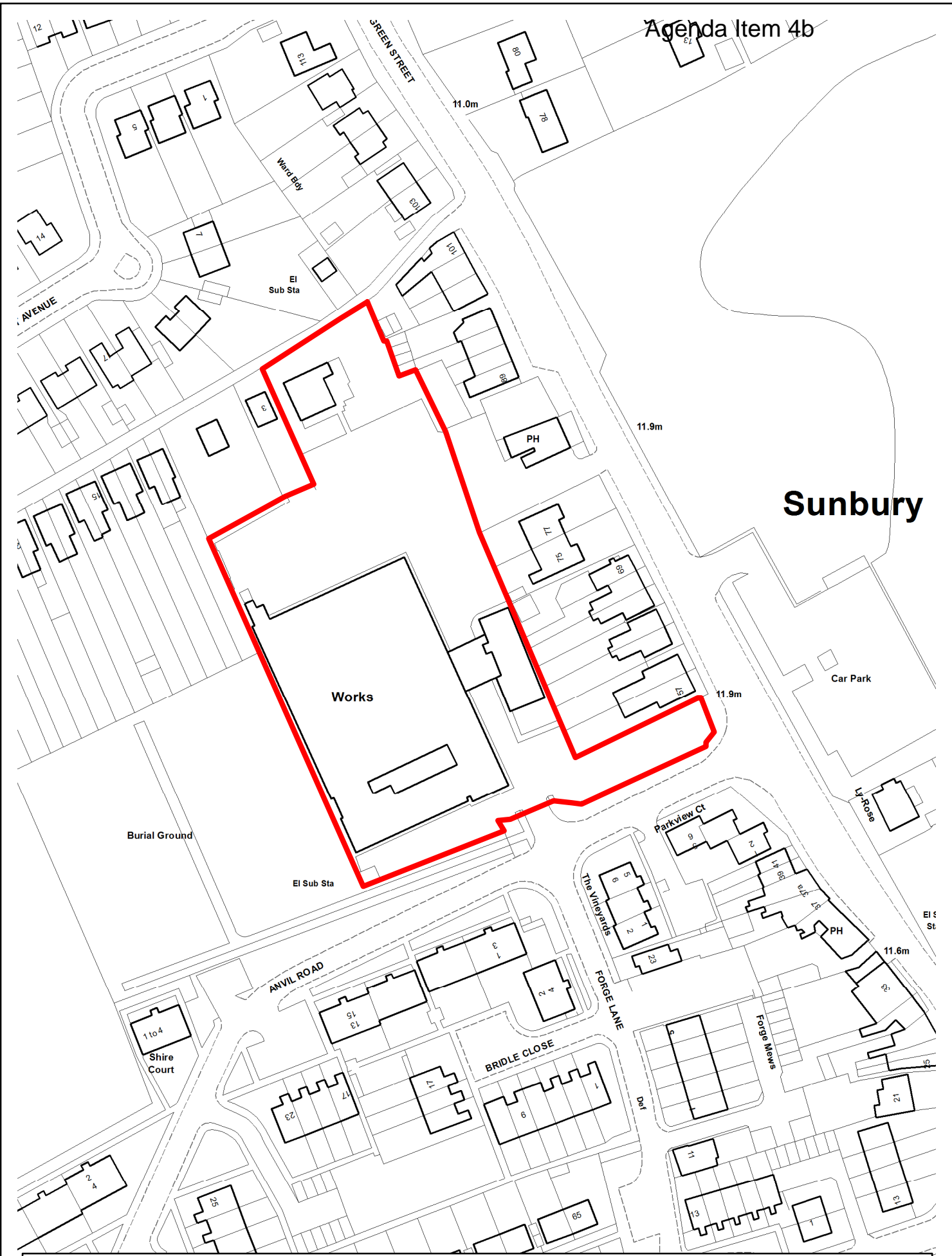


Material Samples Legend

- 1 Kingspan Metal Panel RAL 7016
- 2 Glazing
- 3 London Stock Brickwork
- 4 Permarock Render Colour Marill 50
- 5 Permarock Render Colour Marill 30

90-106 High Street Staines-Upon-Thames  
North Elevation  
Scale 1:200 @ A3





Sunbury

Works

Burial Ground

Car Park

1 to 4  
Shire Court

ANVIL ROAD

BRIDLE CLOSE

Parkview Ct

The Vineyards

FORGE LANE

Forge Mews



1:1,250

16/00893/FUL  
Page Works, Forge Lane,  
Sunbury-on-Thames, TW16 6EQ

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**Planning Committee**

**27 July 2016**



Application Nos.	16/00893/FUL		
Site Address	Page Works, Forge Lane, Sunbury on Thames, TW16 6EQ		
Proposal	Redevelopment of the site to provide 33 residential units, 3 x 1 bed flats, 4x 2 bed flats, 11 x 2 bedroom houses, 5 x 3 bedroom houses and 10 x 4 bedroom houses with a total number of 63 car parking spaces, the provision of amenity space, landscaping and associated alterations		
Applicant	Fairview Homes Ltd.		
Ward	Halliford and Sunbury West		
Call in details			
Application Dates	Valid: 31.05.2016	Expiry: 30.08.2016	Target: Under 13 weeks
Officer	Janet Ferguson and Matthew Clapham		
Executive Summary	<p>This application for a redevelopment of the existing commercial site into 33 residential units is acceptable in principle. The site is partly within and also adjoins the Lower Sunbury Conservation Area and an Area of High Archaeological Potential.</p> <p>It is considered that the design of the proposal is acceptable within the street scene and surrounding area and preserves and enhances the character and appearance of the Conservation Area. The proposal would not have a detrimental impact on the amenity of the residential properties in terms of loss of light, privacy or outlook and in this respect the application is acceptable. The proposal is also acceptable in terms of flooding, contamination, renewable energy and air quality. In terms of transportation matters, Surrey County Council are satisfied with the proposals including the parking provision, subject to conditions. The Lead Local Flood Authority at Surrey County Council is satisfied with the drainage elements of the proposal subject to a suitable condition ensuring access to the existing Thames Water drainage system. The Councils Arboricultural Advisor is satisfied that the protected Oak Tree located to the rear of 77 Green Street will be safeguarded. The proposal for 9 'affordable' dwellings is considered appropriate having regard to the submitted viability evidence.</p>		
Recommended Decision	This application is recommended for approval subject to the completion of a s106 Legal Agreement to ensure that the proposed affordable housing is provided.		



## MAIN REPORT

### 1. Development Plan

1.1 The following policies in the Council's Core Strategy and Policies DPD 2009 are considered relevant to this proposal:

SP1 (Location of Development)

LO1 (Flooding Implications of Development)

SP2 (Housing Provision)

HO1 (Providing for New Housing development)

HO3 (Affordable Housing)

HO4 (Housing Size and Type)

HO5 (Density of Housing Development)

SP5 (Meeting Community Needs)

CO2 (Provision of Open space for New Development)

SP6 (Maintaining and Improving the Environment)

EN1 (Design of New Development)

EN3 (Air Quality)

EN5 (Buildings of Architectural and Historic Interest)

EN6 (Conservation Areas, Historic Landscapes, Parks and Gardens)

EN7 (Tree Protection)

EN15 (Development on Land Affected by Contamination)

SP7 (Climate Change and Transport)

CC1 (Renewable Energy, Energy Conservation and Sustainable Construction)

CC3 (Parking Provision)

'Saved' Local Plan (2001) Policy BE25.- Archaeology, Ancient Monuments and Historic Landscapes

### 2. Relevant Planning History

2.1 The original industrial building was approved under a planning approval in 1955. The more relevant and recent applications are set out below:

15/01599/FUL	Redevelopment of the site to provide 33 residential units, 3 x 1 bed flats, 4x 2 bed flats, 11 x 2 bedroom houses, 5 x 3 bedroom houses and 10 x 4 bedroom houses with a total number of 63	Refused 8.03.2016
--------------	---	----------------------

car parking spaces, the provision of amenity space, landscaping and associated alterations

13/01380/TPO

TPO245 - T1 - Oak - Raise crown to give a clearance of up to 4m from ground level and thin crown by 25%.

Grant TPO Consent  
28.10.2013

### 3. Description of Current Proposal

- 3.1 The application site relates to an area of land measuring approximately 0.8 hectares that is located on the northern side of Forge Lane and to the west of Green Street in Sunbury on Thames. The site includes several commercial buildings including a large 2 storey structure and areas of hard-standing /car parking that were previously used by Page Aerospace to manufacture aircraft parts. The buildings amount to 4570m<sup>2</sup> of industrial and ancillary office space. The site is currently vacant; it is understood that the business operation ceased in December 2014, and that the company has since moved to premises located overseas.
- 3.2 A small part of the existing car parking area of the site fronting onto Green Street lies within the Lower Sunbury Conservation Area and is also in an Area of High Archaeological Importance. The remainder of the site is not affected by any other designations except for an Oak Tree in the centre of the site (to the rear of no. 77 Green Street) which is the subject of a Tree Preservation Order.
- 3.3 The surrounding area is predominantly residential in character with some commercial units located at ground level of the properties that face onto Green Street. To the west of the site is a cemetery which is on land that is designated as Green Belt.
- 3.4 This is a full planning application, by Fairview Homes concerned with redeveloping the site to provide a total of 33 private dwellings together with 63 car parking spaces. The mix of the residential units is: 3 x 1 bedroom flats, 4 x 2 bedroom flats, 11 x 2 bedroom houses, 5 x 3 bedroom houses and 10 x 4 bedroom houses. The 7 flats and 2 of the two bedroom dwellings comprise the 9 'affordable' units. The affordable units comprise 5 rented and 4 shared ownership.
- 3.5 To the front of the site facing onto Forge Lane are 8 terraced properties that are divided by a central access road into the site. All of these frontage dwellings will have accommodation over three floors, although the top floor is provided in the roof space served by front dormer windows and the installation of rear roof lights. Within the site are 2 rows of 2 storey properties in a linear form either side of the access road. On the eastern side of the access road are three pairs of semi-detached dwellings and 2 detached dwellings which are located in front of the TPO Oak tree. On the western side of the access road are three sets of 2 storey terraced

properties, all of which contain 2 bedrooms. At the north of the site adjacent to the School Walk footpath is a 2 storey building containing 7 flats with 1 and 2 bedrooms.

- 3.6 Access to the site will be from Forge Lane and will extend within the site to the rear in a hammerhead. Allocated parking will be provided to each dwelling and 11 spaces would be provided for the 'flatted' development. Existing trees located to the north of the site are to be retained together with the TPO Oak tree and some additional indicative planting is proposed in the front gardens, alongside the access road and the car parking area located on the corner of Green Street and Forge Lane.
- 3.7 The elevations of the houses incorporate a traditional design and materials and include flat roof dormer windows on the Forge Lane frontage and gable front features in the design of the semi-detached dwellings. Whilst material samples have not been submitted at this stage (details would be subject to a planning condition), the applicants have indicated that the dwellings would use yellow stock brickwork and grey tiles.
- 3.8 A Transport Assessment, A Travel Plan, A Contamination Report, Foul sewerage and Utilities assessment, An Archaeology Assessment; Heritage Assessment, Energy Statement, Air Quality Assessment, Noise Assessment, Flood Risk Assessment and a Planning & Design Statement have been submitted with the application.
- 3.9 The relevant local planning policies for the development of the site and the issues the proposal raises are set out in the Core Strategy and Policies Development Plan Document (CS&P DPD) which was adopted by the Council in February 2009, the Allocations DPD adopted in December 2009 and in six 'saved' policies in the Spelthorne Borough Local Plan. Additionally, the Council's adopted Supplementary Planning Documents (SPDs); Design of Residential Extensions and New Residential Development SPD, April 2011 and Housing Size and Type SPD, July 2012 are also relevant. The National Planning Policy Framework (NPPF), March 2012 and National Planning Policy Guidance (NPPG) 2014 are also applicable to this application.
- 3.10 The layout is identical to that submitted under the previous planning application, 15/01599/FUL but was refused on 8.3.2016 due to no 'affordable' housing being provided. The full reason for refusal is outlined in paragraph 7.8 below.
- 3.11 Copies of the site layout and proposed elevations are provided as an Appendix.

#### 4. Consultations

- 4.1 The following table shows those bodies consulted and their response.

Consultee	Comment
Surrey County Council Heritage Conservation – Archaeology	No objections, subject to a condition securing a programme of Archaeological Evaluation.

Natural England	No objections.
County Highway Authority	No response to date – previously raised no objections to 15/01599/FUL – requested conditions regarding improvements in public transport waiting facilities, construction transport management plan, travel plan, cycle parking, parking spaces and access.
Thames Water	No objections in terms of sewerage infrastructure capacity or water infrastructure capacity. Recommended informative and use of oil interceptors in parking areas. Advised that approval needed to connect to public sewer.
Surrey Police – Crime Prevention Design Advisor	No objections.
Surrey County Council (Lead Local Flood Authority)	No objections subject to conditions
Environmental Health (Contamination)	No objection, subject to the imposition of standard contamination conditions and informative.
Environmental Health (Air Quality)	No response to date – previously raised no objection to 15/01599/FUL subject to mitigation for demolition / construction work and condition to secure the installation of trickle charging points.
Environmental Health (Noise)	No objection, subject to conditions.
Councils Sustainability Officer	No objections – satisfied that renewable requirement will be met.
National Grid – Electricity	No response to date – previously for 15/01599 Identified that it has apparatus in the vicinity of the site which may be affected by the activities specified. Requested that National Grid is notified of the likely decision.
Surrey Fire and Rescue Service	No response to date.
Surrey Wildlife Trust	No response to date – previously for 15/01599/FUL requested that applicant undertake the Mitigation and Enhancement Actions as detailed in sections 5 and 6 of the Ecological Report.
Council’s Countryside and Commons Officer.	No objection, subject to conditions to secure ecological recommendations.
Council’s Arboricultural Advisor	No objections.

Street Scene	No response to date – previously for 15/01599/FUL raised no objection, following submission of further details and swept path analysis on accessibility.
Lower Sunbury Residents Association	No objection.
Spelthorne Borough Council Group Head (Community and Wellbeing)	No objections to proposed mix of affordable housing.
Heritage Advisor	No objections.
Viability Advisor	The affordable housing offer is acceptable.

**5. Public Consultation**

99 neighbouring properties were notified of the planning application. To date, two letters of objection have been received raising the following concerns:

- a private right of way exists through the application site from an adjoining Dwelling located to the north of the site;
- proximity of the development to an adjoining property
- loss of privacy and reduction in natural light to no. 59 Green Street.

One letter of support has also been received encouraging the provision of affordable housing.

**6. Planning Issues**

- Principle of Development / Loss of Industrial Floorspace
- Housing Mix / Size of Units
- Affordable Housing
- Design, Townscape and Impact upon the Conservation Area
- Density
- Layout and Residential Amenity
- Amenity Space
- Open Space
- Trees and Landscaping
- Transportation
- Air Quality, Noise and Contaminated Land
- Renewable Energy
- Archaeology
- Flooding and Drainage
- Ecology and Landscaping

## 7. Planning Considerations

### Principle of Development / Loss of Industrial Floorspace

- 7.1 The relevant policies for housing are contained in the NPPF 2012 and policies SP2, HO1, HO2, HO3, HO4 and HO5 of the CS&P DPD. The principle of housing on this site, accords with policy HO1 c) which encourages housing development, taking into account other policy considerations. In addition, Policy HO1 e) encourages the redevelopment for housing of poorly located employment land provided the site is suitable for housing. Therefore, providing all other policy objectives are met, the development of the site for housing purposes is generally considered as acceptable in principle.

### Housing Mix / Size of Units

- 7.2 The relevant policies for housing size and type are contained in the NPPF, March 2012, policy HO4 of the CS&P DPD and Housing Size and Type SPD, July 2012. Policy HO4 states that the Council will ensure that the size and type of housing reflects the needs of the community by:

"requiring developments that propose four or more dwellings to include at least 80% of their total as one or two bedroom units, and encouraging the provision of housing to meet the needs of older people"

- 7.3 The Council's SPD on Housing Size and Type seeks to explain in more detail the Council's requirements for securing the right size and type of dwellings in new residential developments and conversions. This advice recognises that town centre residential schemes will usually be at a higher density in the form of flats whereas larger units providing family accommodation will usually be more appropriate in non-town centre locations, although the majority should still have one and two bedrooms. The advice acknowledges that in non-town centre sites there are a number of factors to be taken into account in deciding on the appropriate dwelling mix. One such factor is that any development will need to reflect the character of the area in which it is situated. Where there is a predominance of larger dwellings a mix of less than 80% one and two bedroom dwellings may be appropriate although the majority should still have one and two bedrooms.
- 7.4 The scheme as a whole provides 54.6% of the overall units as 1 and 2 bedrooms which is the majority of the proposed number of units and as such conforms generally to the policy requirement.

The proposed housing provision is set out in the following table:

<u>Unit Type</u>	<u>Affordable</u>	<u>Private</u>	<u>Total</u>
1 bed	3	0	3
2 bed	6	9	15
3 bed	0	5	5
4 bed	0	10	10
Total	9	24	33

- 7.5 In making an assessment on this issue, it should also be noted that the lack of smaller units was not a reason for refusal in the previous scheme (15/01599/FUL). The Group Head for Community and Wellbeing, have been consulted on the application and is satisfied with the proposed mix. It is considered that having regard to the character of the surrounding area, the provision of 54.6% as small dwellings has appropriately balanced the general need for these dwellings and would comply with the requirements to achieve a mix of family housing. This would meet the Borough's housing needs and conform to policy HO4 and the SPD on 'Housing Type and Mix'

#### Affordable Housing

- 7.6 Policies SP2 and HO3 of the CS&P DPD require affordable housing to be provided on sites of 0.5 Ha and up to 50% of the units depending upon the viability. This is supported by guidance contained in paragraph 50 of the NPPF.
- 7.7 The tenure split should be up to 35% shared ownership and 65% rented. The application site falls within the size threshold. The Council's SPD on Housing Size and Type referred to above identifies a greater need for small affordable family dwellings.
- 7.8 The previous application, 15/01599/FUL, was refused on the 19.02.2016 for the following reason:

*'The proposal as outlined in the application as submitted would not include any affordable housing provision that would be required to contribute towards meeting the needs of the Borough. This is despite detailed discussions taking place with the applicants on financial viability where no agreement has been reached on the Benchmark Land Value of the site and the predicted construction costs, and as such, the submission has not been formally amended. Taking this into account, the applicants have failed to adequately demonstrate and justify why affordable housing cannot be achieved on this site. For the above reasons, it is considered that the proposed development would therefore be contrary to Policies SP2 and HO3 of the Core Strategy and Policies DPD 2009'.*

- 7.9 The applicant now proposes 9 units of affordable housing, which amounts to 27% of the total provision of housing in the scheme. The affordable housing comprises 5 units to be offered for affordable rent and 4 units as shared ownership. The size of the units would be 5 no. 2 bed/4 person units; 1 no. 2 bed/3 person units and 3 no. 1 bed/2 person units. I am satisfied that having regard to viability advice and evidence and government guidance 9 affordable units in the form proposed is a reasonable provision. The mix of affordable units is also supported by the Group Head for Community and Wellbeing.

## Design, Townscape and Impact on Conservation Area

7.10 The need to provide a high quality of design and layout in new developments is reflected in environment policy EN1 contained in the CS&P DPD. In addition, the Council's Supplementary Planning Document (SPD) on the "Design of Residential Extensions and New Residential Development" was adopted by the Council in April 2011. It provides guidance on a range of ways to improve the quality and layout of residential development including distances between dwellings and amenity space standards.

7.11 In accordance with policy EN1 of the CS&P DPD, new development is required to adopt a high standard in the design and layout of new development. In particular, section a) of the policy requires a new development to demonstrate that it will:

"create buildings and places that are attractive with their own distinct identity; they should respect and make a positive contribution to the street scene and the character of the area in which they are situated."

7.12 The proposed development has been specifically designed to create a strong street frontage facing Forge Lane and follows a set-back building line which is in keeping with the building located at no. 57 Green Street. In addition, the footprint of the buildings has been sensitively designed and setback to have regard to the locally listed entrance feature and allows the continued use and pedestrian access to the adjacent cemetery.

7.13 The proposed buildings are of a good quality with thought given to detailing to ensure a high standard of development is provided. The development relates well to the existing established residential neighbourhood, but also has its own distinct identity. The Heritage Statement submitted by the applicant states that:

'the new buildings have been informed by a proportionate understanding of the significance of the conservation area and are of high-quality that interprets the character and appearance of the conservation area's traditional building stock in an appropriate contemporary manner. In this regard the application proposals take the opportunity to better reveal the significance of the Lower Sunbury Conservation Area'.

7.14 The Council's Heritage Advisor has considered the proposed development and has raised no objection in principle to the scheme and is in agreement that the submission would meet the objectives of the Planning (Listed Buildings and Conservation Areas) Act 1990 which, under s72, requires special attention to be paid to preserving or enhancing the character or appearance of a Conservation Area. The Heritage Advisor is also satisfied that the requirements in the NPPF and adopted policy EN6 would be met. In addition, further comments refer to the simple spine road approach and recognises the advantage of producing front garden spaces and rear gardens which back onto established development that produce decent separation distances.



- 7.15 Other material accompanying the application states that the 'proposals have adopted a traditional architectural style with pitched roofs and gables to ensure that it responds sensitively to the local built environment'. In design and townscape terms, the 2 storey height (with rooms in the roof) along the street frontage is in character with the surroundings, where similar form of buildings are located in Forge Lane and some properties in Green Street have 3 storeys. The 2 storey form of development within the site is also similar to the overriding pattern of residential properties located within the local area. The pavilion building to the north has a greater mass and scale, but given the existence of 3 storey properties at nos. 89-95 Green Street and the space around the building including neighbouring gardens, the scale of the building is not considered to be out of context with the surroundings.
- 7.16 As far as the detailed design of the buildings and the use of materials in the construction are concerned, the proposal is considered to be of a satisfactory quality and appearance that would fit in with the mixture of building styles in the locality. Suitable planning conditions have been recommended requiring the submission of samples of the construction materials and the removal of 'permitted development' rights. In view of the proposed buildings being visible from the Conservation Area, the introduction of a good quality brick wall on the Green Street frontage will be required when considering the discharge of the materials condition.
- 7.17 Previous comments from the Surrey Crime Reduction and Crime Prevention Design Advisor were considered by the applicants who have included an additional window to serve plot 5 to provide some natural surveillance across the main entrance. The applicants have also agreed to a trellis to be added to the proposed rear boundary fence adjacent to the Admiral Hawk public house. This may be considered as part of the boundary treatment condition.

#### Density

- 7.18 The NPPF refers in section 6 to "delivering a wide choice of high quality homes" which requires LPAs to "set out their own approach to housing density to reflect local circumstances". In addition, adopted policy HO5 of the CS&P DPD states that:
- "In considering proposals for new residential development, other than conversions of existing buildings, the Council will take account of the following density guidelines together with the requirements of Policy EN1 on design of new development. Within existing residential areas that are characterised by predominantly family housing rather than flats, new development should generally be in the range of 35 to 55 dwellings per hectare."
- 7.19 Based on a site area of 0.8 hectares, the proposal has a gross density of approximately 41 dwellings per hectare (dph) which would comply with the Council's density requirement and would be consistent in the context of the character of the surrounding residential area.

## Layout and Residential Amenity

- 7.20 The layout of the proposed development is assessed by having regard to a number of factors including the internal floor space, the size of each garden, the distance from the back of new properties to the rear boundaries for each dwelling and the building height and massing. All of the proposed units, including the flats to the north of the site would accord with the minimum room sizes as set out in the national technical housing standards and the standards provided in the Council's SPD on the "Design of Residential Extensions and New Residential Development". This SPD also includes minimum separation distances for two and three storey residential development. For two storey development the back to back distance is 21m and the back to boundary distance is 10.5m, for three storey development the distances are 30m and 15m respectively. The back to side minimum distances for 2 storey dwellings is 13.5 metres and 21 metres for 3 storey development. The majority of the proposed dwellings are two storeys; but the street frontage properties are two storey, however there is accommodation within the roofspace with front facing dormers and rear sky lights which results in a higher building than a traditional two storey dwelling.
- 7.21 The proposed layout has been designed to have regard to the above standards and specific separation distances in order to comply with policy EN1 and the SPD. The closest neighbouring property to the frontage properties are no's. 57 and 59 Green Street which are located 17.6 metres away from the flank elevation of the most eastern terrace of 4 dwellings, although it is understood that the closest parts of these properties are single storey. The separation of 17.6 metres, which is 4.1m higher than the guidance in the SPD, would represent a satisfactory distance between the flank wall of the development and the single storey elements of nos. 57 and 59 Green Street. Similarly, the relationship between the setback terraced properties facing Forge Lane and nos. 5 and 6 The Vineyards and nos. 1-7 Anvil Road are over 35 metres between the buildings which greatly exceeds the Council standards.
- 7.22 To the north of the site are nos. 3, 5 and 7 School Walk which are all over 18 metres away from the linear form of the dwellings within the site, compared with the minimum requirement of 13.5 metres. It is accepted that part of the flatted building would project by approximately 7.5 metres to the rear of no.3 School Walk. However, this element would be set in from the boundary by 8 metres and the distance involved and the relationship between buildings is such that there would be no infringement of the 45 degree guideline.
- 7.23 The commercial units located at nos. 89 to 97 Green Street have residential accommodation above at the first and second floors, which appear to be accessed to the rear. The separation distance between these properties and the flatted development is 19.9 metres at its closest point which would comply with the 13.5 distance stipulated in the SPD. As a result it is considered that there would be an acceptable impact upon the amenities of the occupiers of this upper floor living accommodation. As far as the neighbouring residential properties at nos. 75 and 77 Green Street are

concerned; there would be a separation distance of over 25 metres between buildings which is acceptable and would comply with the SPD.

- 7.24 An objection has been received stating that the new buildings would be located in a position that is viewed to be too close to the rear boundaries of adjoining properties, and that the structures would appear overbearing and lead to loss of privacy and natural light. However, given that the majority of the layout complies with the Council's SPD, it is not considered that this objection could be sustained.
- 7.25 Policy EN1 of the CS & P DPD states that new development should achieve a satisfactory relationship with adjoining properties avoiding significant harmful impact in terms of loss of privacy, daylight or sunlight, or overbearing effect due to bulk and proximity or outlook. The Council's Supplementary Planning Document for the Design of Residential Extensions also provides guidance on assessing impacts upon adjoining properties. The SPD on design refers to the 25 degree guide from the rear of adjoining properties and the 45 degree horizontal and vertical guides to aid in the assessment of potential impacts upon the residential amenity enjoyed by adjoining properties.
- 7.26 The occupier of no. 59 Green Street has raised specific concerns regarding potential loss of light to their property. The applicant has produced a Daylight, Sunlight and Overshadowing Report. This assessment has been carried out in accordance with the British Research Establishment (BRE) Guidelines; entitled the 'Principles of Daylight and Sunlight'. This specifically examines the potential impacts upon the most affected properties, namely no's 57 and 59 Green Street and 3 School Walk. The Report concludes that the proposed development would comply with these daylight, sunlight and overshadowing guidelines in respect of these nearest neighbouring residential properties.
- 7.27 The only infringement of the Council guidelines outlined in the Design SPD is the 25 degree angle taken from the rear of no. 59 Green Street which is infringed by the flank elevation of the proposed plot 1. The BRE have published a Good Practice Guide for Site Layout Planning for Daylight and Sunlight which allows for further assessment of potential impacts where the standard 25 and 45 angles are infringed. The Daylight, Sunlight and Overshadowing Report confirms that the amount of daylight and sunlight reaching both the rear window and the garden area of no. 59 Green Street does meet the requirements outlined in the BRE Good Practice Guide.
- 7.28 All of the other neighbouring properties located adjacent to the site have not been subject to the same scrutiny / assessment under the BRE Guidelines as the proposed development would not subtend a 25 degree line drawn from their lowest windows. As a result the application is considered acceptable in day / sunlight terms, despite the objection that have been received in this regard by an neighbouring residential occupier.
- 7.29 In conclusion, the layout and design is acceptable in terms of separation distances and complies with Policy EN1 of the CS&P DPD.

### Amenity Space

- 7.30 In terms of garden sizes, the Council's SPD provides minimum rear garden areas and amenity space standards for new dwellings. These are 70m<sup>2</sup> for a three or more bedroom semi-detached or detached dwelling and 60m<sup>2</sup> for a terraced or two bedroom semi-detached dwelling. All of the proposed dwellings accord with these standards. As far as flatted developments are concerned, there is a requirement of 35m<sup>2</sup> of amenity space per unit. As 7 units are proposed in the northern pavilion building, there would be a requirement for 245m<sup>2</sup> of amenity space to be provided which is easily met as approximately 275m<sup>2</sup> is provided in an rectangular amenity area fronting School Walk. As a consequence, the proposed development would provide adequate amenity space and would therefore comply with policy EN1, the SPD on Design and the NPPF.

### Open Space

- 7.31 Policy CO3 of the CS&P DPD states that in new housing developments of 30 or more family dwellings the Council will require a minimum of 0.1ha of open space to provide for a children's play area. Such provision is to be increased proportionally according to the size of the scheme. This application includes 30 family dwellings (defined as 2 bedrooms or more) and would technically attract a public open space requirement. However, given that the site and surrounding area has not been identified as being deficient in public open space and taking into account the close proximity of Sunbury Park, it is not considered necessary to insist upon the provision of public open space in this particular instance.

### Trees and Landscaping

- 7.32 Policy EN7 sets out that where existing trees make an important contribution to the surroundings, that the Council will promote tree preservation orders wherever appropriate to safeguard healthy trees which have amenity value. In addition, section d) of EN1 requires a scheme to:

"incorporate landscaping to enhance the setting of the development, including the retention of any trees of amenity value and other significant landscape features that are of merit, and provide for suitable boundary treatment."

- 7.33 There are several existing trees located on the north- eastern boundary and a substantial Oak tree which is situated in the centre of the site (on the rear boundary with nos. 75 and 77 Green Street), which is subject to a Tree Preservation Order (TPO). The impact of the proposal on the existing trees is an integral part of assessing the detailed design and layout of the scheme which has been considered by the Council's Arboricultural Advisor. The only issue of concern on tree grounds was the detail of the proposed replacement tree planter which has since been revised to a design that is now acceptable to the Councils' Arboricultural Advisor.
- 7.34 It is accepted that proposed dwelling nos. 30 and 31 would experience some shading and loss of light to these rear gardens and could lead to

future pressure to carry out work to the protected Oak tree. However, the Arboricultural report accompanying the submission has indicated that some of the lower branches of the TPO would be trimmed to allow light to pass through to the garden below. In addition, as the first section of the rear gardens would remain outside of the crown spread and as any future purchasers would be aware of this layout, it is not considered that a refusal on tree grounds could be sustained.

- 7.35 The application would also provide an opportunity for new tree planting along the street frontage, on the Green Street corner and on the boundaries of the site. It is anticipated that the redevelopment would include a diverse range of age, size and particular type of species that would enhance the appearance of the Lower Sunbury Conservation Area. A condition has been imposed requiring full details of hard and soft landscaping to be submitted and approved by the Council.

#### Transportation

- 7.36 Central Government's advice on transportation is set out in the NPPF, but there is emphasis on the promotion of sustainable transport. Also relevant is the PPG which provides guidance on travel plans, transport assessments and statements in decision-taking.
- 7.37 Policy CC2 of the CS&P DPD aims to ensure that new development is compatible with the transport infrastructure in terms of total movements, capacity of the local transport network, cumulative impact, access / egress from the site and highway safety. Major developments need to ensure access by non-car modes and promote sustainable travel. This desire to be more sustainable is complimented by Policy CC3 on parking provision which seeks appropriate on site provision including for cycles.
- 7.38 In assessing the redevelopment scheme on highway grounds, it is relevant to take into account the previous commercial use of the site. Prior to becoming vacant in January 2014, it is understood that there was potential for a certain amount of traffic movements being generated by people employed at and visiting the premises. The previous use and associated activity has been considered, assessed and compared against the anticipated movements associated with the proposed 33 residential units. The Transport Statement submitted with the application has predicted that the existing permitted use has the potential to generate a total of 25 vehicular movements during the AM peak and 18 vehicular movements in the PM peak. The proposed use has a potential to generate 24-36 person movements in the AM and PM peaks of which 17-26 movements are likely to be vehicular. As a result of these predictions, it is considered that there would be a negligible change in the AM peak and a very minor reduction in the PM peak which would not have a noticeable impact on the local highway network. The application has also been accompanied with a Travel Plan which sets out short term and long term strategies for reducing dependence on travel by private car for those people that reside in the development. A further Framework Travel Plan has also been requested by a condition.

- 7.39 The application includes the retention of the existing access, the provision of 63 car parking spaces (for 33 units) and 1 cycle space per unit is also proposed as part of the scheme. In terms of the Council's minimum parking standards, there would be a requirement to provide 62.5 spaces and the proposed 63 on site car parking space would clearly comply with this standard and is acceptable.
- 7.40 The County Highway Authority (CHA) assessed the previous scheme (15/01599/FUL) and the associated transportation information and concluded that there would be no objection to the proposal on highway safety, capacity and policy grounds. The future traffic growth assumptions for the proposed development have been previously agreed by the CHA, who are satisfied about the impact of the development upon the area taking into account the traffic growth figures. A number of conditions have been recommended by the CHA, including the provision of shelters to existing bus stops located in Green Street which have been imposed in the recommendation.

#### Air Quality, Noise and Contaminated Land

- 7.41 The proposed development is within an Air Quality Management Area (AQ-MA). The NPPF seeks to ensure that the planning system should contribute and enhance the natural and local environment by a number of measures including:
- "preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of soil, air, water or noise pollution or land instability;"
- 7.42 Policy EN3 of the CS&P DPD states that the Council will seek to improve the air quality of the Borough and minimise harm from poor air quality by a number of measures. The policy states that any planning application for developments of 10 or more dwellings would require the submission of an Air Quality Assessment.
- 7.43 The applicants have submitted an Air Quality Assessment (AQA). The same Assessment was submitted and commented on by the Council Environmental Health Officer for the previous application. The Assessment considered the impact of the development during construction and post development. The Assessment has confirmed that the impact of the development would be 'insignificant', a view which is shared by the Council's Environmental Health Officer, although it is accepted that the recommended mitigation should conform to best practice standards for the demolition and construction work. In addition, Environmental Health would seek to ensure that the development should be 'air quality neutral' and should include the provision of trickle charging points which have been secured by condition.
- 7.44 With regards to noise, the relevant adopted policy is EN11 which seeks to minimise the adverse impact of noise upon residential occupiers. The applicant has provided an Acoustic Report that has essentially assessed the impact of existing noise effects upon the future occupiers of the

proposed development. The Acoustic Report concludes that appropriate mitigation in the form of enhanced glazing and varying acoustic ventilation can be provided for all habitable rooms to ensure that the noise levels experienced by future residents is at an acceptable standard. Such an approach is viewed to be acceptable and Environmental Health have raised no objection to the scheme, subject to the imposition of a number of planning conditions.

- 7.45 The Acoustic Report does state there could be the potential for noise levels to marginally be exceeded for some of the external amenity areas. However, Environmental Health have advised that any amenity space that might be affected can be specifically designed to achieve an acceptable noise standard, which is to be secured by condition.
- 7.46 In terms of contamination, a detailed contamination report accompanies the application which has been considered by the Council's Pollution Control section and the imposition of standard contamination conditions and informatives have been suggested.

#### Renewable Energy

- 7.47 Policy CC1 of the CS & P DPD supports the provision of renewable energy, energy conservation and sustainable construction by a number of measures including requiring residential development to provide at least 10% of the development's energy demand from on-site renewable energy sources. The applicant proposes solar thermal panels photovoltaic panels will be provided on the roofs of each dwelling. It is anticipated that there would be a 10.75% saving in energy use which would comply with policy CC1. Additionally, the Council's Sustainability Officer is satisfied with the proposal.

#### Archaeology

- 7.48 In terms of archaeology, a small part of the site on the Green a street corner is located within an Area of High Archaeological Importance. The applicants have produced a desk based archaeological assessment which has advised that the proposed development is unlikely to have any significant or widespread archaeological potential of the site. The County Archaeological Officer has been consulted on the submission and has raised no objection, subject to the imposition of standard archaeological planning conditions.

#### Flooding and Drainage

- 7.49 Whilst the comments of the Environment Agency are awaited, the site does not fall with an area liable to risk and it is not anticipated that there will be an objection on matters relating to flooding. Thames Water has responded to the consultation on the application and has raised no objection in terms of sewerage infrastructure capacity or water infrastructure capacity but have suggested the imposition of an informative.

- 7.50 Following the receipt of further information, Surrey County Council as Leading Flood Authority, are satisfied with the proposed drainage scheme and have recommended conditions for inclusion on any permission that may be issued.

#### Ecology

- 7.51 The applicants have submitted an ecological appraisal which has confirmed that there is a limited ecological diversity of habitats on the site and that the land overall is of low ecological value. As a result, there is no evidence to suggest that any ecological designations, habitats of nature conservation interest or protected or notable species would be significantly harmed by the proposed development. The ecological appraisal includes recommendations which makes provision for the installation of bat and Swift boxes, a sensitive lighting scheme, the removal of existing invasive plant species, the provision of hedgehog passes and native tree planting and nectar rich flowering plants, which are to be secured by a planning condition. The Council's Countryside and Commons Officer is in agreement with the imposition of such a condition.
- 7.52 Comments from the Surrey Wildlife Trust are awaited. They were consulted on the previous application and did not raised an objection and commented that the applicant should undertake the Mitigation and Enhancement Actions as detailed in the Ecological Report. These actions are to be secured by condition.

#### Other Matters

- 7.53 Following comments on the previous application from Streetscene, the applicant has retained the agreed refuse detail and the swept path tracking for entering the site from both the left and the right side and have no further comments in respect of waste collection.
- 7.54 An objection has been received concerning a Right of Way across the site. However, this is a private civil matter between the parties involved. There is no Public Right of Way across the site.

#### Conclusion

- 7.55 In policy terms, the loss of the existing commercial use and its replacement with new housing is acceptable in principle. The layout, density, amenity space and parking provision complies with the Council's standards and the proposal will have an acceptable impact on local residential properties. The proposal is acceptable in terms of archaeology, ecology, renewable energy and the impact on the Lower Sunbury Conservation Area. In terms of the noise issue, further information has been requested and it is considered that any significant matters may be satisfactorily addressed by condition. .
- 7.56 The previous application proposed no affordable Housing and the amount proposed in this scheme is 27%. The advice given by the Councils Viability Advisor is that it is considered to be acceptable in terms of affordable



housing being included as part of the redevelopment scheme. As a result, the submission is accordingly recommended for approval.

## **8. Recommendation**

8.1 Subject to: The applicant first entering into an appropriate legal agreement in respect of the following:

1. To provide 9 affordable housing units on site built in accordance with current Housing Corporation Scheme Development Standards, the details of which shall be agreed with The Council's Assistant Head of Planning (Development Management).

- The split of the type of affordable housing shall be 5 units to be offered for affordable rent and 4 units as shared ownership.
- Prior to implementation the Registered Social Landlord (RSL) shall enter into a Nominations Agreement in respect of the affordable housing (in order that the social housing meets local needs).
- Build and complete the affordable units and hand over to the Registered Social Landlord for occupation before more than 50% of the open market units are sold or substantially completed, whichever is the sooner.

8.2 GRANT subject to the following conditions:-

1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: This condition is required by Section 91 of the Town and Country Planning Act, 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2) Before the commencement of the construction of the development hereby approved full details of both soft and hard landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The trees and shrubs shall be planted on the site within a period of 12 months from the date on which development hereby permitted is first commenced, or such longer period as may be approved by the Local Planning Authority, and that the planting so provided shall be maintained as approved for a period of 5 years, such maintenance to include the replacement in the current or next planting season whichever is the sooner, of any trees or shrubs that may die, are removed or become seriously damaged or diseased, with others of similar size and species, unless the Local Planning Authority gives written permission to any variation.

Reason: To minimise the loss of visual amenity occasioned by the development and to enhance the proposed development.

- 3) Before the commencement of the construction of the development hereby approved a plan shall be submitted to and approved in writing by the Local Planning Authority indicating the positions, design, materials and type of boundary treatment to be erected in accordance with a timetable agreed in writing with the Local Planning Authority. Development shall be carried out in accordance with the approved details and maintained as approved.

Reason: To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 4) Before the commencement of the construction of the development hereby approved details of the materials and detailing to be used for the external surfaces of the buildings and surface material for parking areas be submitted to and approved by the Local Planning Authority.

Reason: To ensure that the proposed development does not prejudice the appearance of the development and the visual amenities and character of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 5) That within 3 months of the commencement of any part of the development permitted, or such longer period as may be approved by the Local Planning Authority, facilities shall be provided within the curtilage of the site for the storage of refuse and waste materials in accordance with details to be submitted to and approved by the Local Planning Authority before any work on the development hereby permitted is first commenced, and thereafter the approved facilities shall be maintained as approved.

Reason: To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009

- 6) Before the commencement of the construction of the development hereby approved details including a technical specification of all proposed external lighting shall be submitted to and approved in writing by the Local Planning Authority. The external lighting on the site shall at all times accord with the approved details.

Reason:- To safeguard the amenity of neighbouring residential properties and in the interest of security.

- 7) No new development shall be occupied until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for one trickle

charging point to be installed within 20% of the available parking spaces for the flats. The trickle charging point shall be retained exclusively for its designated purpose.

Reason:- The above condition is required in recognition of Section 4 (Promoting Sustainable Transport) of the NPPF

- 8) No demolition or building operations shall commence until a Demolition Method Statement detailing the proposed methodology for demolishing the existing structures and the mitigations measures to be implemented has been submitted to and approved in writing by the Local Planning Authority. The Demolition Method Statement shall include the submission of a Pre-Demolition Asbestos Survey. The agreed methodology and mitigation measures shall be implemented in accordance with the approved details.

Reason:- To safeguard the amenity of neighbouring properties.

- 9) The development shall be carried out in accordance with the dust management mitigation recommendations detailed in section 5.24 and Appendix 4 of the Air Quality Assessment produced by BWB Consultancy submitted 13 May 2015.

Reason: To protect local air quality within an air quality management area.

- 10) No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved in writing by the Local Planning Authority.

Reason: To safeguard any Archaeological assets.

- 11) No development shall take place until:-

(i) A comprehensive desk-top study, carried out to identify and evaluate all potential sources and impacts of land and/or groundwater contamination relevant to the site, has been submitted to and approved in writing by the Local Planning Authority.

(ii) Where any such potential sources and impacts have been identified, a site investigation has been carried out to fully characterise the nature and extent of any land and/or groundwater contamination and its implications. The site investigation shall not be commenced until the extent and methodology of the site investigation have been agreed in writing with the Local Planning Authority.

(iii) A written method statement for the remediation of land and/or groundwater contamination affecting the site shall be agreed in writing with the Local Planning Authority prior to the commencement of remediation. The method statement shall include an

implementation timetable and monitoring proposals, and a remediation verification methodology.

The site shall be remediated in accordance with the approved method statement, with no deviation from the statement without the express written agreement of the Local Planning Authority.

Reason:- To protect the amenities of future residents and the environment from the effects of potentially harmful substances in accordance with policies SP6 and EN15 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

#### NOTE

The requirements of the above Condition must be carried out in accordance with current best practice. The applicant is therefore advised to contact Spelthorne's Pollution Control team on 01784 446251 for further advice and information before any work commences. An information sheet entitled "Land Affected By Contamination: Guidance to Help Developers Meet Planning Requirements" providing guidance can also be downloaded from Spelthorne's website at [www.spelthorne.gov.uk](http://www.spelthorne.gov.uk).

- 12) Prior to the first use or occupation of the development, and on completion of the agreed contamination remediation works, a validation report that demonstrates the effectiveness of the remediation carried out shall be submitted to and agreed in writing by the Local Planning Authority.

Reason:- To protect the amenities of future residents and the environment from the effects of potentially harmful substances in accordance with policies SP6 and EN15 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

#### NOTE

The requirements of the above Condition must be carried out in accordance with current best practice. The applicant is therefore advised to contact Spelthorne's Pollution Control team on 01784 446251 for further advice and information before any work commences. An information sheet entitled "Land Affected By Contamination: Guidance to Help Developers Meet Planning Requirements" providing guidance can also be downloaded from Spelthorne's website at [www.spelthorne.gov.uk](http://www.spelthorne.gov.uk).

- 13) Before the commencement of the construction of the development hereby approved, details of how the Sustainable Drainage System will cater for system failure or exceedance events, both on and offsite, must be submitted to and approved by the local planning authority.

Reason: To ensure that the proposal has fully considered system failure

- 14) Prior to occupation, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority to demonstrate that the Sustainable Drainage System has been constructed as per the agreed scheme.

Reason: To ensure the Sustainable Drainage System has been constructed as agreed.

- 15) Before the commencement of the construction of the development hereby approved, details of how the Sustainable Drainage System will be protected and maintained during the construction of the development shall be submitted to and approved by the Local Planning Authority. The development shall thereafter be carried out in strict accordance with those approved details

Reason: To ensure that the construction works do not compromise the functioning of the agreed Sustainable Drainage System.

- 16) The development shall not be occupied until the two bus stops on both sides of Green Street closest to the development have been provided with shelter in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policy CC2 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 17) The development hereby approved shall not be occupied unless and until the existing vehicular access to Forge Lane has been modified and provided with tactile paving in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policy CC2 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 18) Before the commencement of the construction of the building hereby approved, details of how the Sustainable Drainage System shall be maintained and who shall own and maintain the drainage system, must be submitted to and approved by the local planning authority.

Reason: To ensure an acceptable Sustainable Drainage System and to comply with Policy LO1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document (2009) and the advice contained within the NPPF, NPPG and Non-Statutory Technical Standards for SuDS.

- 19) Notwithstanding the submitted plans the development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for vehicles to be parked and for vehicles to turn so that they may enter and leave the site in forward gear. Each parking space shall measure 2.4 metres deep by 4.8 metres wide with 6 metres of aisle space. Thereafter the parking area shall be retained and maintained for its designated purpose

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policies CC2 and CC3 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 20) Notwithstanding the submitted plans the development hereby approved shall not be first occupied unless and until space has been laid out within the site in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority for a minimum of seven bicycles to be parked in a secure, covered, lit and accessible location. Thereafter the parking area shall be retained and maintained for its designated purpose.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policies CC2 and CC3 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 21) No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
  - (b) loading and unloading of plant and materials
  - (c) storage of plant and materials
  - (d) programme of works (including measures for traffic management)
  - (e) provision of boundary hoarding behind any visibility zones
  - (f) vehicle routing
  - (g) measures to prevent the deposit of materials on the highway
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policy CC2 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 22) Notwithstanding the submitted travel plan prior to the commencement of the development a Framework Travel Plan shall be submitted for the written approval of the Local Planning Authority in accordance with the sustainable development aims and objectives of the National Planning Policy Framework, and Surrey County Council's "Travel Plans Good Practice Guide", And then the approved Travel Plan shall be implemented upon first occupation and for each and every subsequent occupation of the development, thereafter maintain and develop the Travel Plan to the satisfaction of the Local Planning Authority.

Reason: The condition above is required in order that the development should not prejudice highway safety, nor cause inconvenience to other highway users, and to accord with the National Planning Policy Framework 2012 and policies CC2 and CC3 of Spelthorne Borough Council's Core Strategy and Policies Development Plan Document February 2009.

- 23) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order) no extensions or other form of enlargement to the residential development hereby permitted, nor erection of porches, outbuildings, hardstandings, storage tanks, gates, fences, walls or other means of enclosure, shall take place without the prior planning permission of the Local Planning Authority

Reason: To safeguard the appearance of the locality/amenity of neighbouring residential properties in accordance with policies SP6, EN1 and CC3 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 24) The development shall be carried out in accordance with the recommendations outlined in the submitted in the Energy Statement by Abbey Consultants (Southern) Ltd. Submitted 9 June 2016. The agreed measures shall be implemented with the construction of each building and thereafter retained and maintained to the satisfaction of the Local Planning Authority unless otherwise agreed in writing.

Reason:- To ensure that the development is sustainable and complies with Policy SP7 and CC1 of the Spelthorne Development Plan Core Strategy and Policies DPD.

- 25) That the development shall be carried out in accordance with the Mitigation and Enhancement actions as detailed in sections 5 and 6 of Aspect Ecology's Ecological Appraisal report dated November 2015

Reason:- To safeguard and protect important species using the site.

- 26). That within 3 months of the commencement of any part of the development permitted, or such longer period as may be approved by the Local Planning Authority, facilities shall be provided within the

curtilage of the site for the storage of refuse and waste materials in accordance with the approved plans and thereafter be maintained.

Reason:- To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and the appearance of the locality, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 27) Prior to the occupation of the development hereby permitted the first and / or second floor side facing windows on Units 1, 4, 5 and 8 shall be obscure glazed and be non-opening to a minimum height of 1.7 metres above internal floor level in accordance with details/samples of the type of glazing pattern to be submitted to and approved in writing by the Local Planning Authority. These windows shall thereafter be permanently retained as installed.

Reason:- To safeguard the privacy of the adjoining property(ies), in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 28) That no further openings of any kind be formed in the flank elevations of the development hereby permitted without the prior written consent of the Local Planning Authority.

Reason:- To safeguard the amenity of neighbouring residential properties, in accordance with policies SP6 and EN1 of the Spelthorne Borough Core Strategy and Policies Development Plan Document 2009.

- 29) The dwellings hereby permitted shall be designed to ensure that the following internal noise levels specified by BS 8233:2014 Guidance on Sound Insulation and Noise Reduction for Buildings are not exceeded due to environmental noise:

Bedrooms - 35dB LAeq T \*, 30 dB LAeq T † , 45dB LAFmax T \*

Living rooms- 35dB LAeq T †

Dining room - 40 dB LAeq T †

\* - Night-time 8 hours between 23:00-07:00

† - Daytime 16 hours between 07:00-23:00.

Reason:- To ensure that the occupiers and users of the development do not suffer a loss of amenity by reason of excess noise from environmental and transportation sources in accordance with Planning Policy Framework 2012.

- 30) The habitable rooms within the development sharing a party wall element shall be designed and constructed to provide reasonable resistance to the transmission of sound sufficient to ensure that the party wall meets a minimum of 5dB improvement on the Building Regulations standard set out in Approved Document E.



Reason:- To ensure that the occupiers and users of the proposed development do not suffer a loss of amenity by reason of noise nuisance and other excess noise from activities within the adjacent premises accordance with the National Planning Policy Framework 2012.

- 31) Private and communal external amenity areas shall be designed to attain 55dB(A) LAeq, 16hr † .  
†Daytime - 16 hours between 07:00-23:00hrs.

Reason:- To ensure that the users of the proposed development do not suffer a loss of amenity by reason of excess environmental noise in accordance with the National Planning Policy Framework 2012.

- 32) No development shall take place, including any works of demolition, until a Construction Environmental Management Plan (CEMP) for the site has been submitted and approved by the Local Planning Authority. All of the demolition and construction work shall then be undertaken in strict accordance with this approved plan and relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

Reason:- To ensure that neighbouring residential occupiers do not suffer a loss of amenity by reason of excess noise, nuisance and pollution from the construction work and activity taking place on the site when implementing the decision in accordance with policy EN1, EN11 and the National Planning Policy Framework 2012.

- 33) The development hereby approved shall be carried out in accordance with the following approved plans: P101 B; P101 AH; P102 D; P103B; P104 A; P105 B; P106 A; P110 H; P111 F; P112 F; P113 G; P114 AH; P114 F; P115 F; P116 H; P117 F; P118 F; C101 E; C102 E; S101 A; S102 A; S103 A; S104 AFNH418 LS/02 received 09.06.2016.

Reason:- For the avoidance of doubt and in the interest of proper planning.

### INFORMATIVES

1. We would recommend that the developer is referred to our advice note and evidence document on our website (<http://new.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/flooding-advice/more-about-flooding/suds-planning-advice>) for further guidance.
2. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent

offenders. (Highways Act 1980 Sections 131, 148, 149).

3. The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see [www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice](http://www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice).
4. The developer would be expected to instruct an independent transportation data collection company to undertake the monitoring survey. This survey should conform to a TRICS Multi-Modal Survey format consistent with the UK Standard for Measuring Travel Plan Impacts as approved by the Highway Authority. To ensure that the survey represents typical travel patterns, the organisation taking ownership of the travel plan will need to agree to being surveyed only within a specified annual quarter period but with no further notice of the precise survey dates. The Developer would be expected to fund the survey validation and data entry costs.
5. The developer is advised that as part of the detailed design of the highway works required by the above condition(s), the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
6. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
7. The applicant's attention is drawn to the ACPO/Home Office Secured by Design (SBD) award scheme, details of which can be viewed at [www.securedbydesign.com](http://www.securedbydesign.com).
8. Thames Water would recommend that petrol / oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of petrol / oil interceptors could result in oil-polluted discharges entering local watercourses.

9. The applicant should ensure the existing system is in a suitable condition and it is operating correctly without increasing flood risk. We would recommend that the opportunity is taken during construction works to inspect existing soakaways and any required maintenance and repairs carried out to ensure that they are functioning to maximum expected efficiency.

If you have any further queries regarding our response please contact the Sustainable Drainage and Consenting Team via email [SUDS@surreycc.gov.uk](mailto:SUDS@surreycc.gov.uk)

10. The submission of the Construction Environmental Management Plan (CEMP) required under condition 32 shall oblige the applicant, developer and contractors to commit to current best practice with regard to site management and to use all best endeavours to minimise off site impacts. The CEMP should detail good construction practice for the development taking place on this site and should contain the following elements:

- A detailed specification of demolition and construction works at each phase of development including consideration of all environmental impacts and the identified remedial measures;
- Engineering measures to eliminate or mitigate identified environmental impacts e.g. acoustic screening, sound insulation, dust control, emission reduction, location of specific activities on site, etc.;
- Locations and methods of monitoring of noise and dust, action and trigger levels, management protocols when triggers reached, etc.
- Arrangements for direct responsive contact for nearby occupiers with the site management during demolition and/or construction (signage on hoardings, newsletters, resident's liaison meetings)
- A commitment to adopt and implement of the ICE Demolition Protocol and Considerate Contractor Scheme;
- To follow current best construction practice, including the following:-
  - S61 of Control of Pollution Act 1974,
  - The London Mayors Supplementary Planning Guidance 'The Control of Dust and Emissions During Construction and Demolition',
  - The Institute of Air Quality Management's 'Guidance on the Assessment of Dust from Demolition and Construction' and 'Guidance on Air Quality Monitoring in the Vicinity of Demolition and Construction Sites',
  - BS 5228-1:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites',
  - BS 7385-2:1993 Evaluation and measurement for vibration in buildings. Guide to damage levels from groundborne vibration,
  - BS 6472-1:2008 'Guide to evaluation of human exposure to vibration in buildings - vibration sources other than blasting,
  - Relevant EURO emission standards to comply with Non-Road Mobile Machinery (Emission of Gaseous and Particulate Pollutants) Regulations 1999,
  - Relevant CIRIA practice notes, and

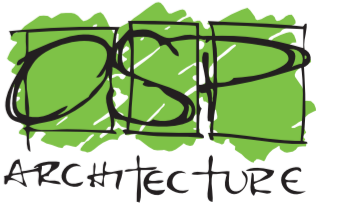
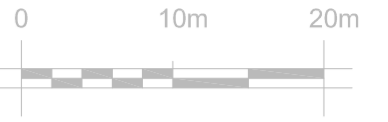
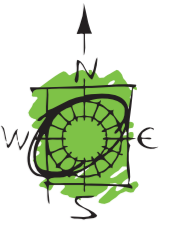
- BRE practice notes.
- Site traffic – Routing of in-bound and outbound site traffic, one way site traffic, lay off areas, etc.;
- Waste Management – Accurate waste identification, separation, storage, registered waste carriers for transportation and disposal to appropriate destinations.

A copy of the CEMP shall be kept on site at all times and all demolition and construction work shall then be undertaken in strict accordance with the approved plan and relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

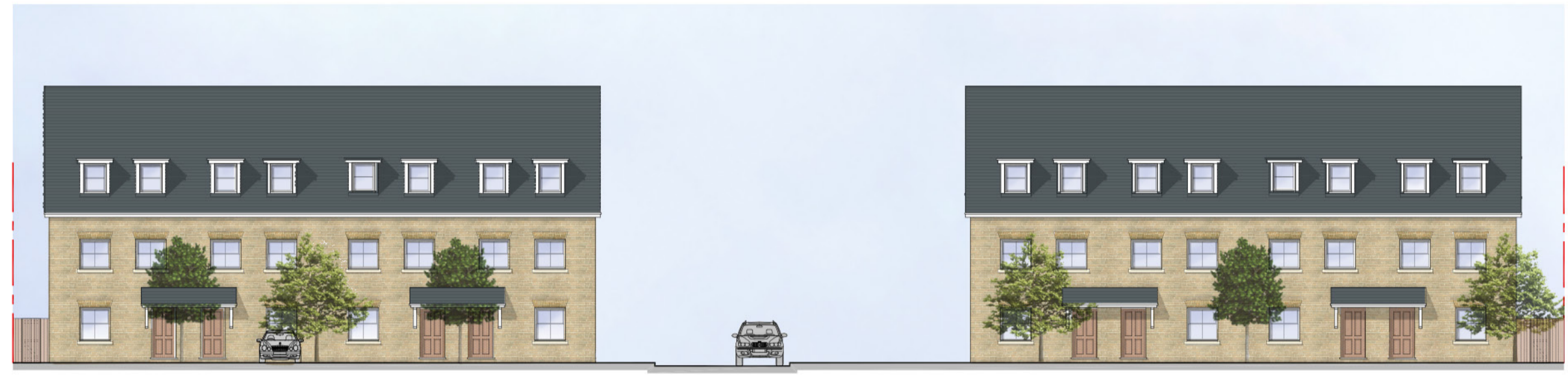
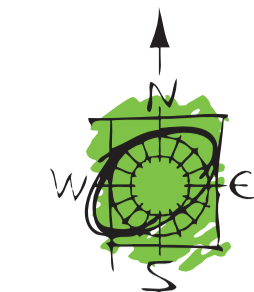
### **Decision Making: Working in a Positive and Proactive Manner**

In assessing this application, officers have worked with the applicant in a positive and proactive manner consistent with the requirements of paragraphs 186-187 of the NPPF. This included the following:-

- a) Provided pre-application advice to seek to resolve problems before the application was submitted and to foster the delivery of sustainable development.
- b) Provided feedback through the validation process including information on the website, to correct identified problems to ensure that the application was correct and could be registered;
- c) Have suggested/accepted/negotiated amendments to the scheme to resolve identified problems with the proposal and to seek to foster sustainable development.
- d) Have proactively communicated with the applicant through the process to advise progress, timescales or recommendation.



Proposed Site Plan  
Page Aerospace, Sunbury on Thames  
**15069/ C101E**  
Scale 1:500 @ A2 November 2015



Datum 10.000 Plot 8 Plot 7 Plot 6 Plot 5 Plot 4 Plot 3 Plot 2 Plot 1

Section A-A



Datum 10.000 Plot 5 Plot 9 Plot 10 Plot 11 Plot 12 Plot 13 Plot 14 Plot 15 Plot 16 Plot 17 Plot 18

Section B-B



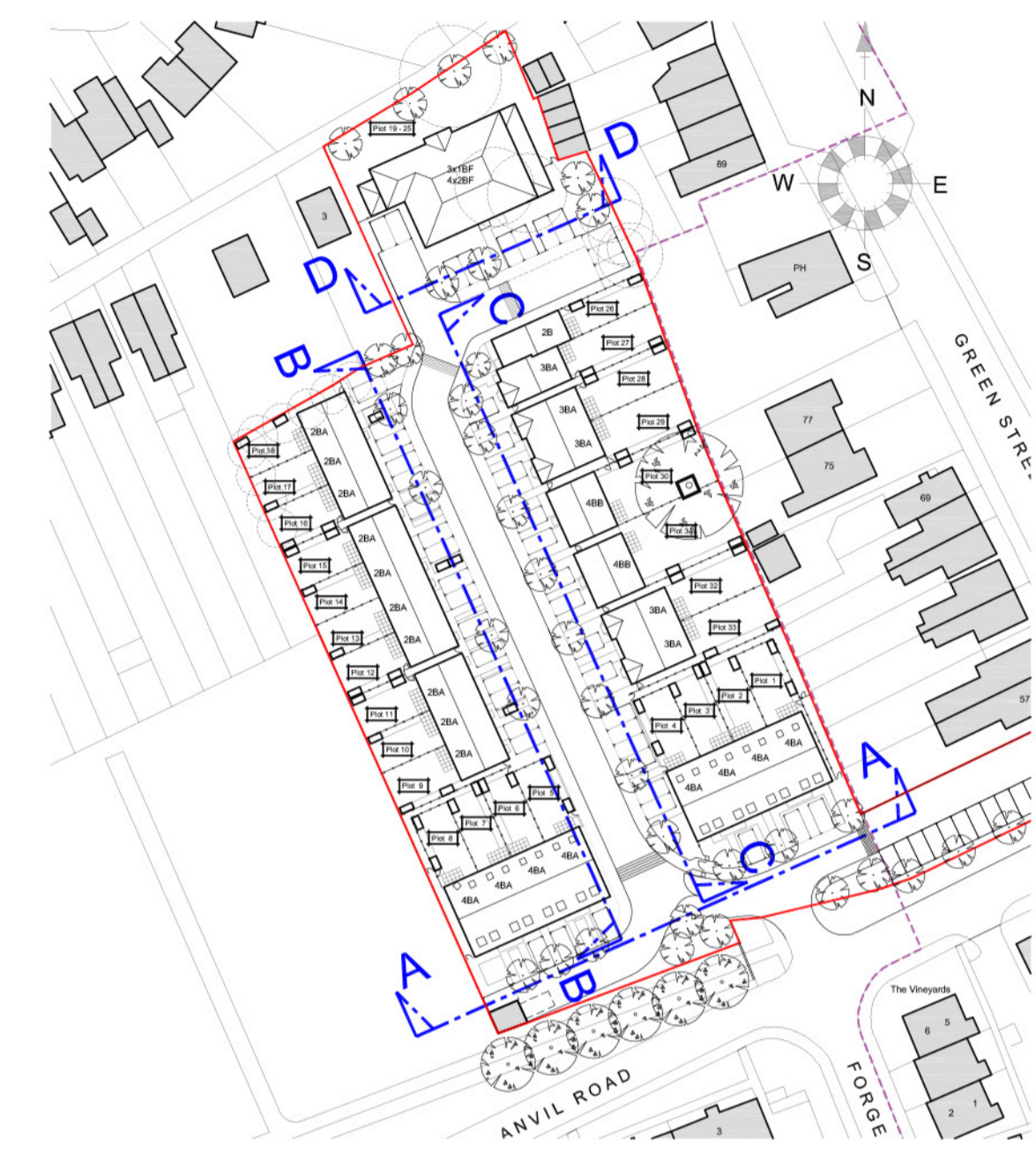
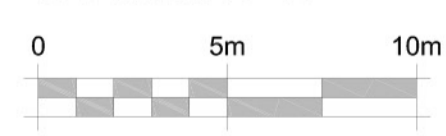
Datum 10.000 Plot 26 Plot 27 Plot 28 Plot 29 Plot 30 Plot 31 Plot 32 Plot 33 Plot 4

Section C-C

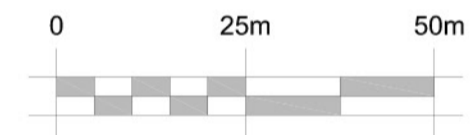


Datum 10.000 Plots 19 - 25

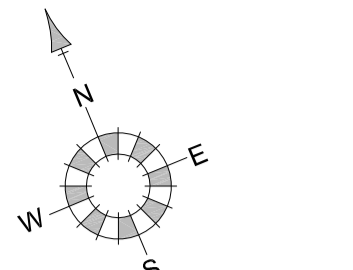
Section D-D



Location Plan 1:1000



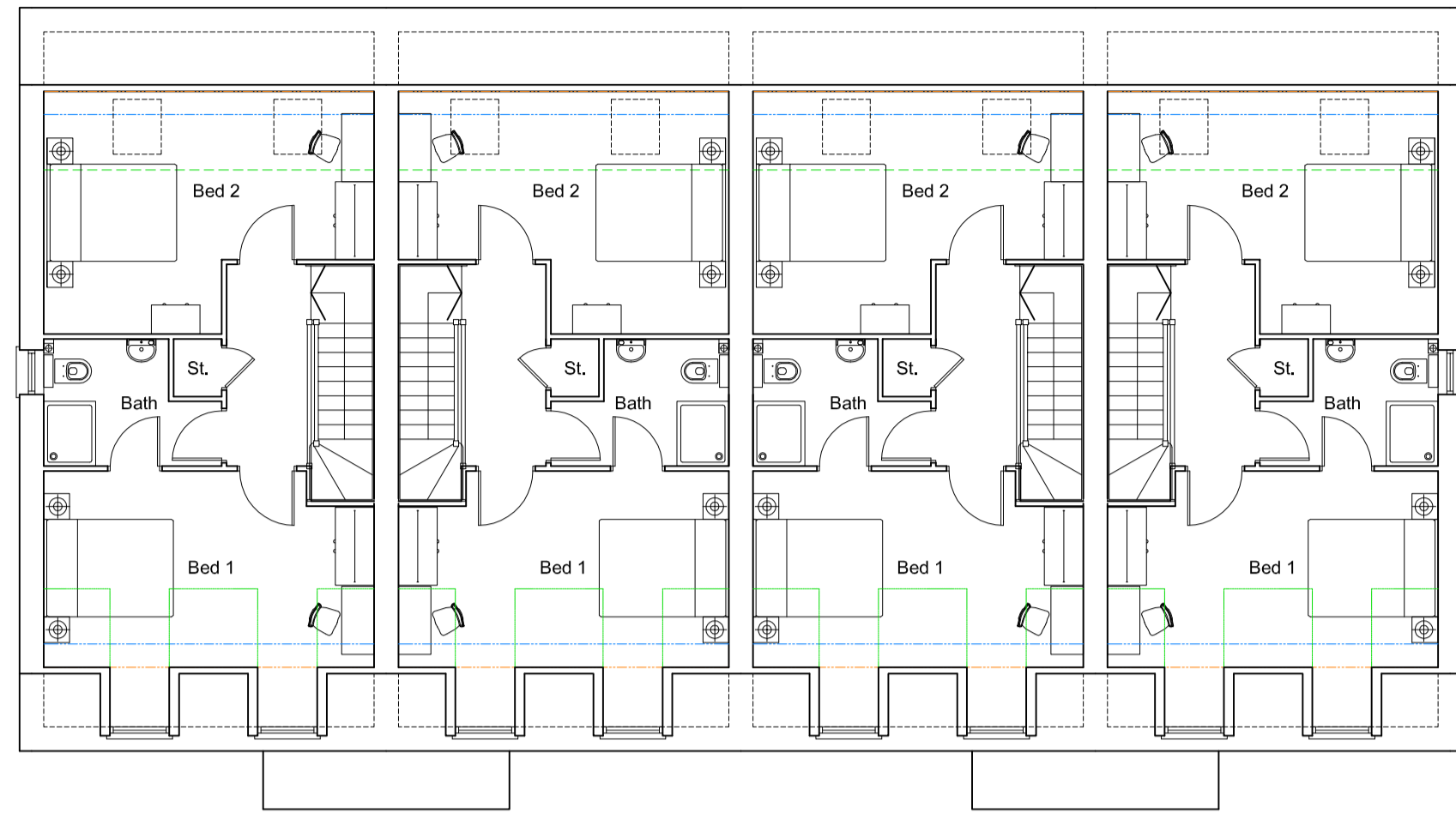
Page 78



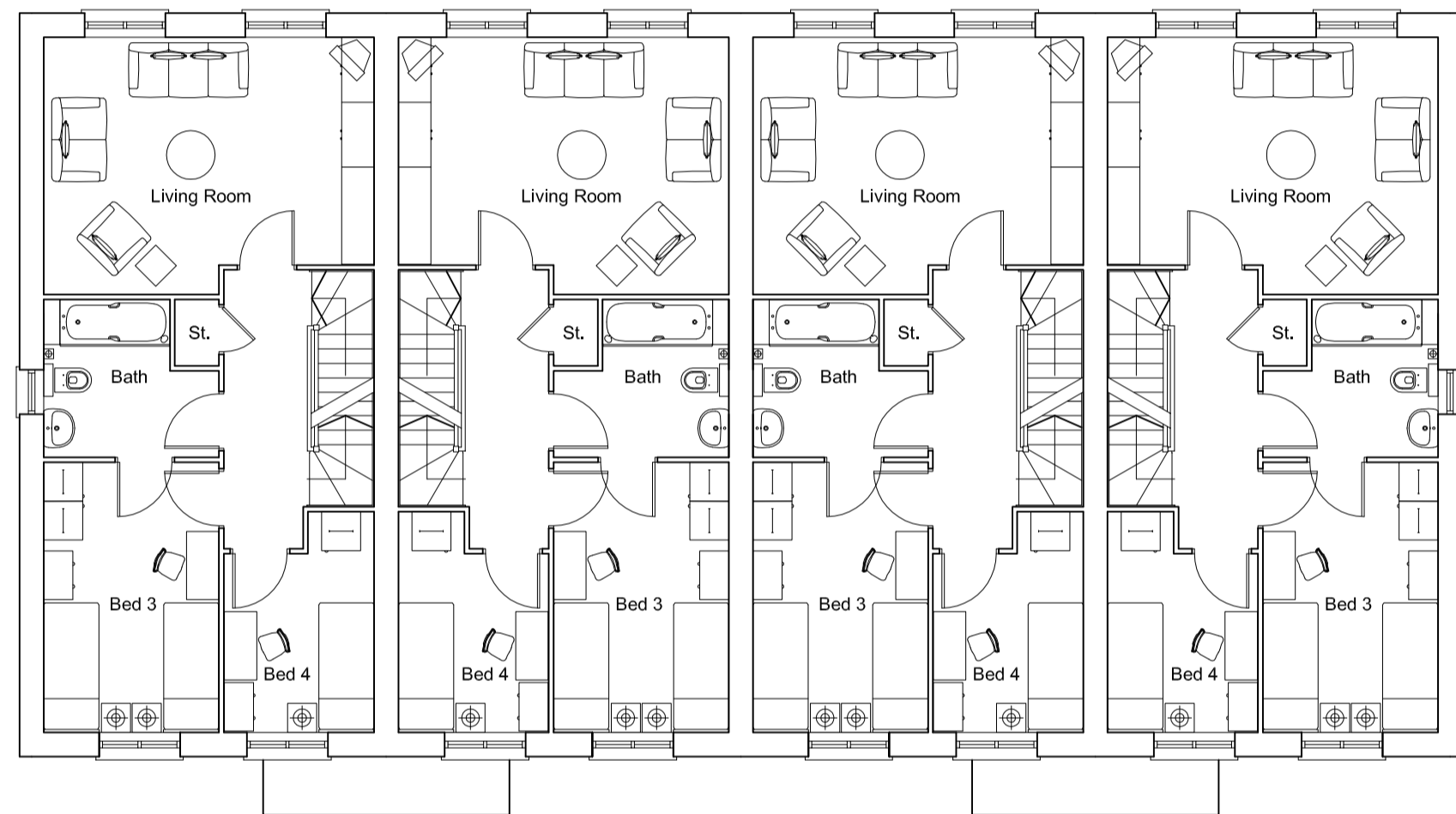
0 2.5m 5m

Skelling Heights	
1500 Skelling Line	—
1800 Skelling Line	—
2100 Skelling Line	—
2500 Ceiling Line	—

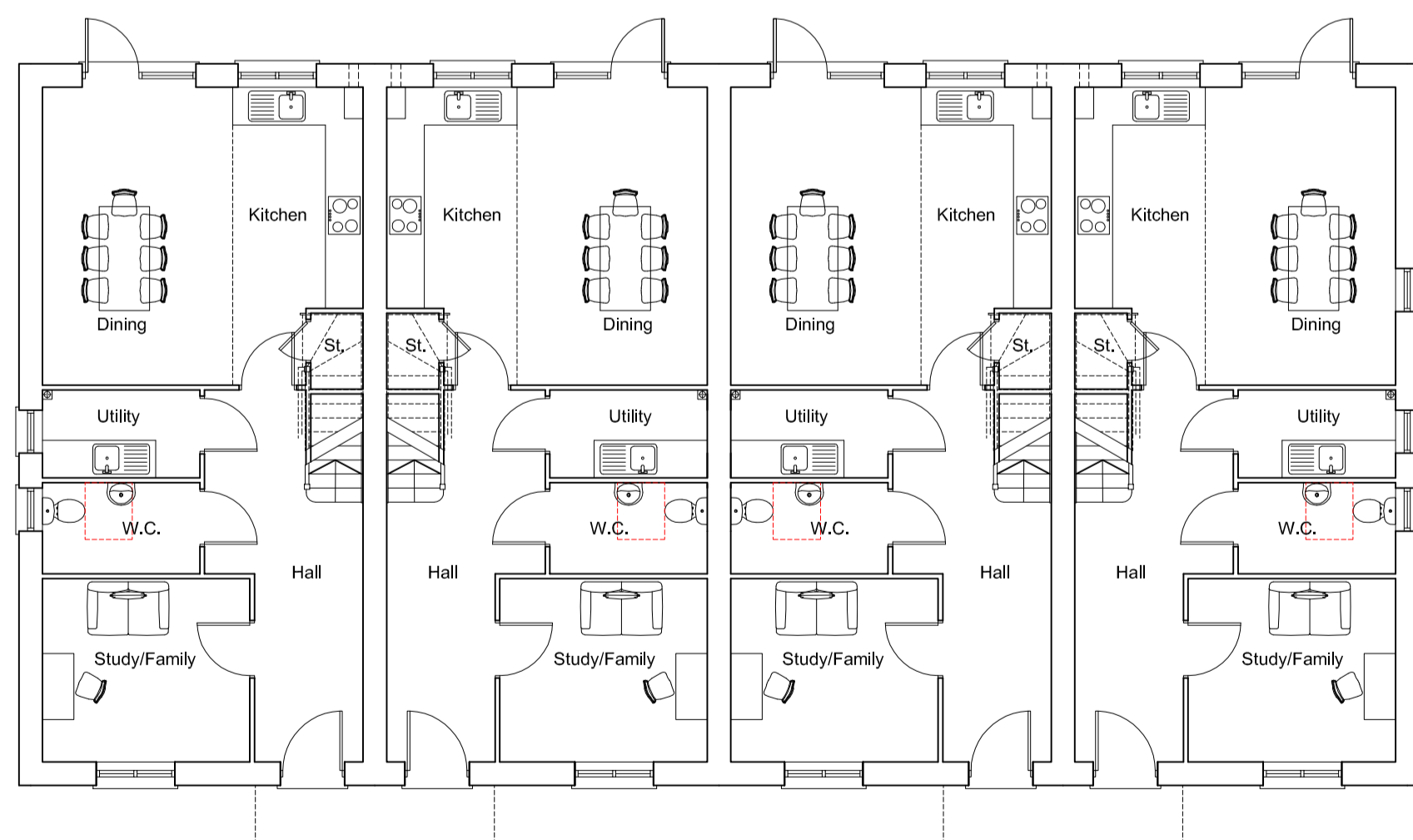
Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown.



Second Floor Plan



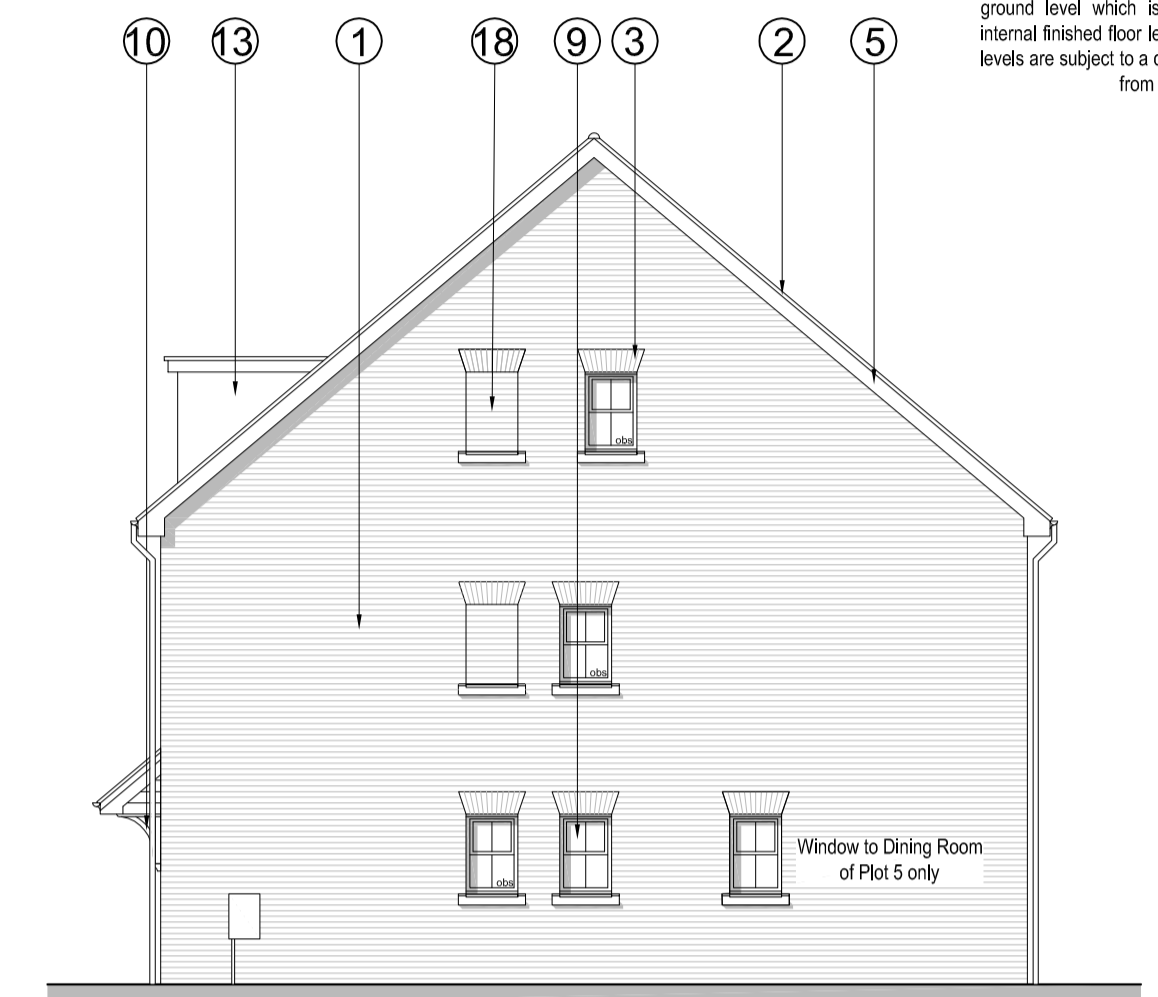
First Floor Plan



Ground Floor Plan



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	⑫ Velux roof light
④ Reconstituted stone cill	⑬ GRP dormer
⑤ UPVC barge board, soffits and fascia	⑭ UPVC sash windows - white
⑥ Soldier course head brick type 2	⑮ Dummy windows
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

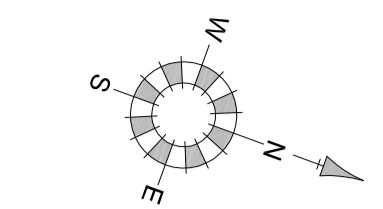
Page 79

REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By
A	21.03.2015	Client revisions added					
B	23.03.2015	Materials enhanced					
C	30.03.2015	Client revisions					
D	01.10.2015	Alternative layout					
E	12.10.2015	Client revisions					
F	20.11.2015	Issued for Planning					
G	02.12.2015	Ridge heights added					
H	15.02.2016	Window added to DR plot 5					

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 1 - 4, 5 - 8 Floor Plans and Elevations (4BA) Alt
DRAWN:	99		
DATE:	Sep.15		
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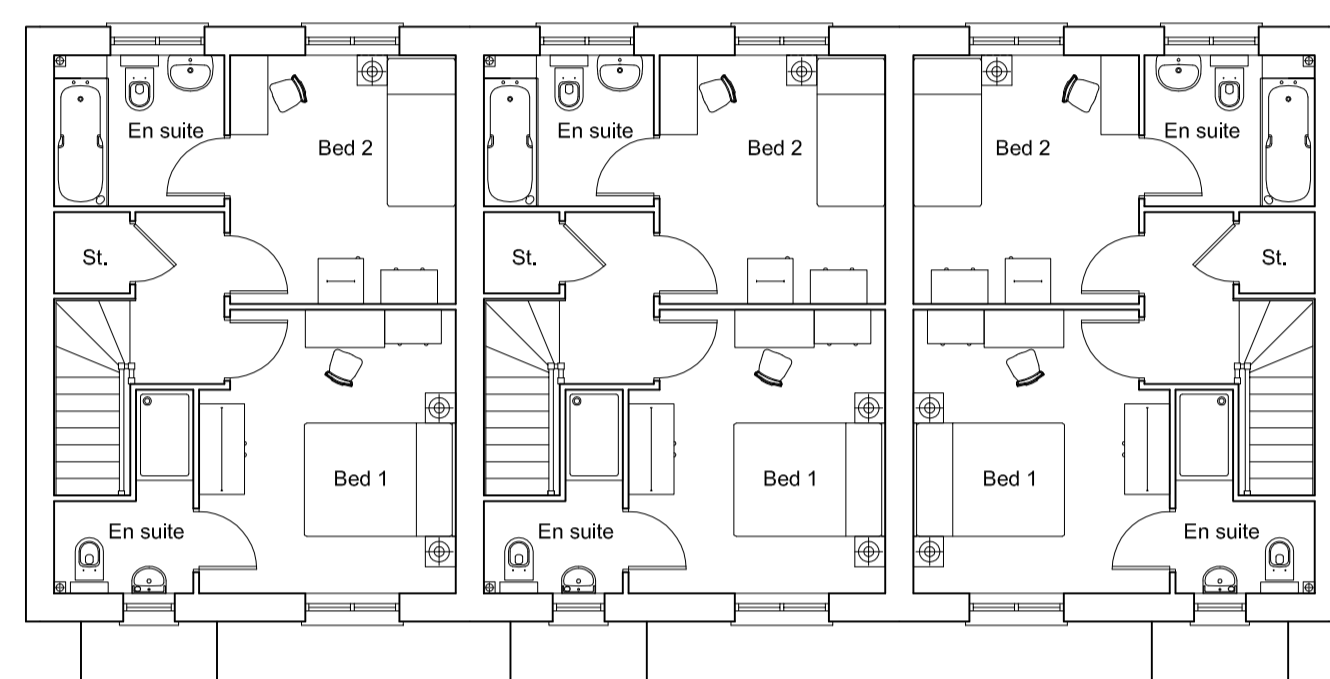
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 www.osparchitecture.com

O'KEEFE SCANLON LIMITED

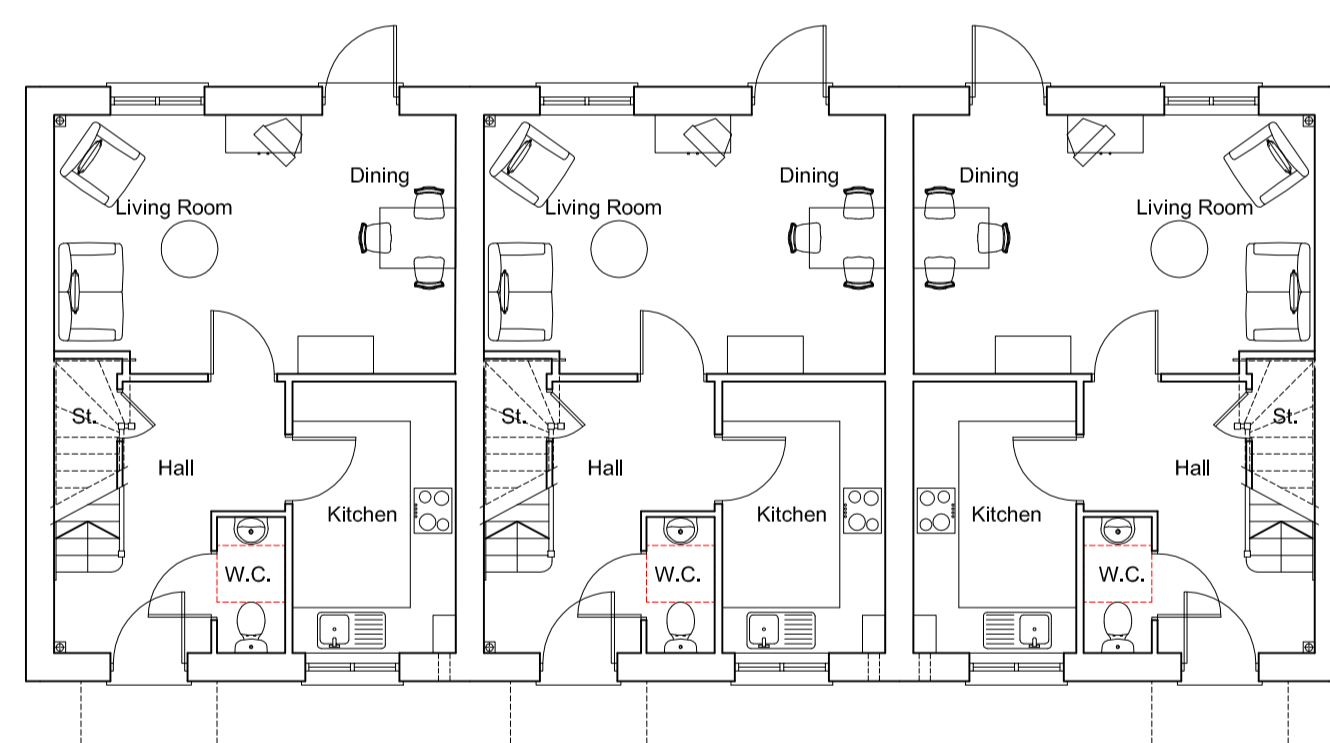


0 2.5m 5m

Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



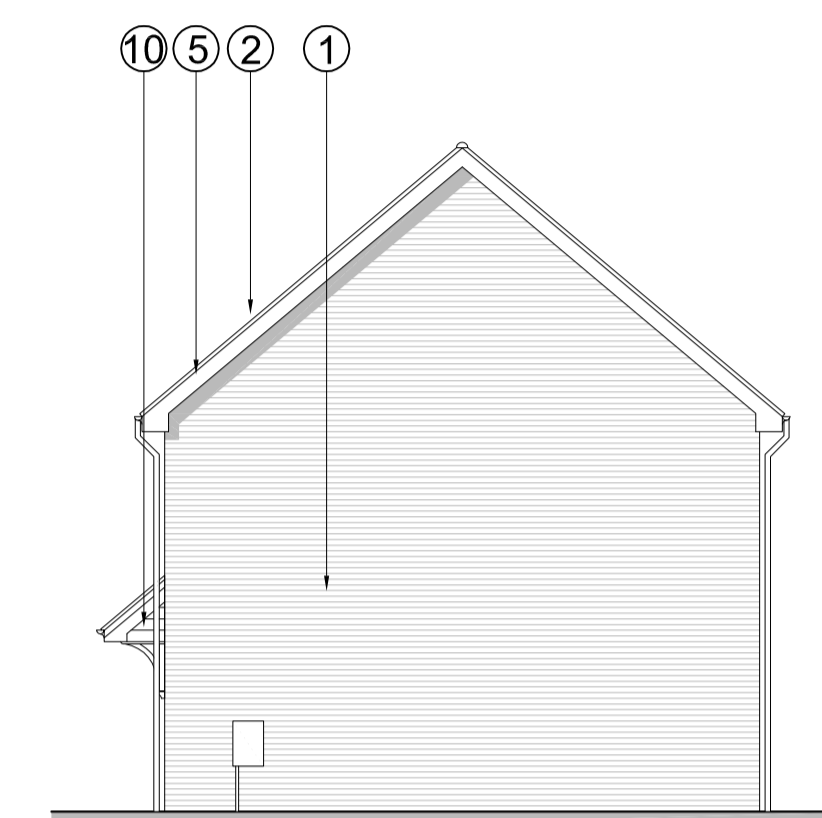
First Floor Plan



Ground Floor Plan



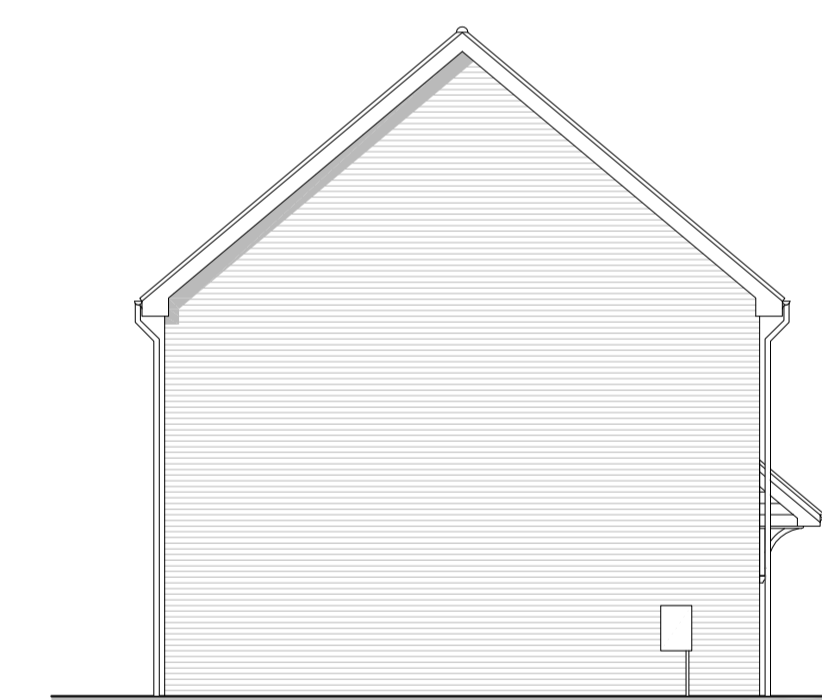
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Materials	
①	Facing brickwork brick type 1
②	Cement slate appearance roof tiles - dark grey
③	4 Course flat arch brick type 2
④	Reconstituted stone cill and fascia
⑤	UPVC barge board, soffits and fascia
⑥	Soldier course head brick type 2
⑦	150 brick course cill brick type 2
⑧	UPVC doors
⑨	UPVC windows
⑩	Timber gallows bracket and soffit boards painted white
⑪	UPVC Deep flow gutters

REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By
A	21.03.2015	Client revisions added									
B	23.03.2015	Materials enhanced									
C	30.03.2015	Client revisions									
D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									

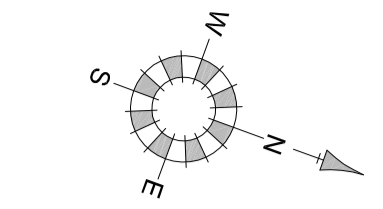
CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 9 - 11 Floor Plans and Elevations (2BA)
DRAWN:	99	15069	P111
DATE:	Sep.15		F

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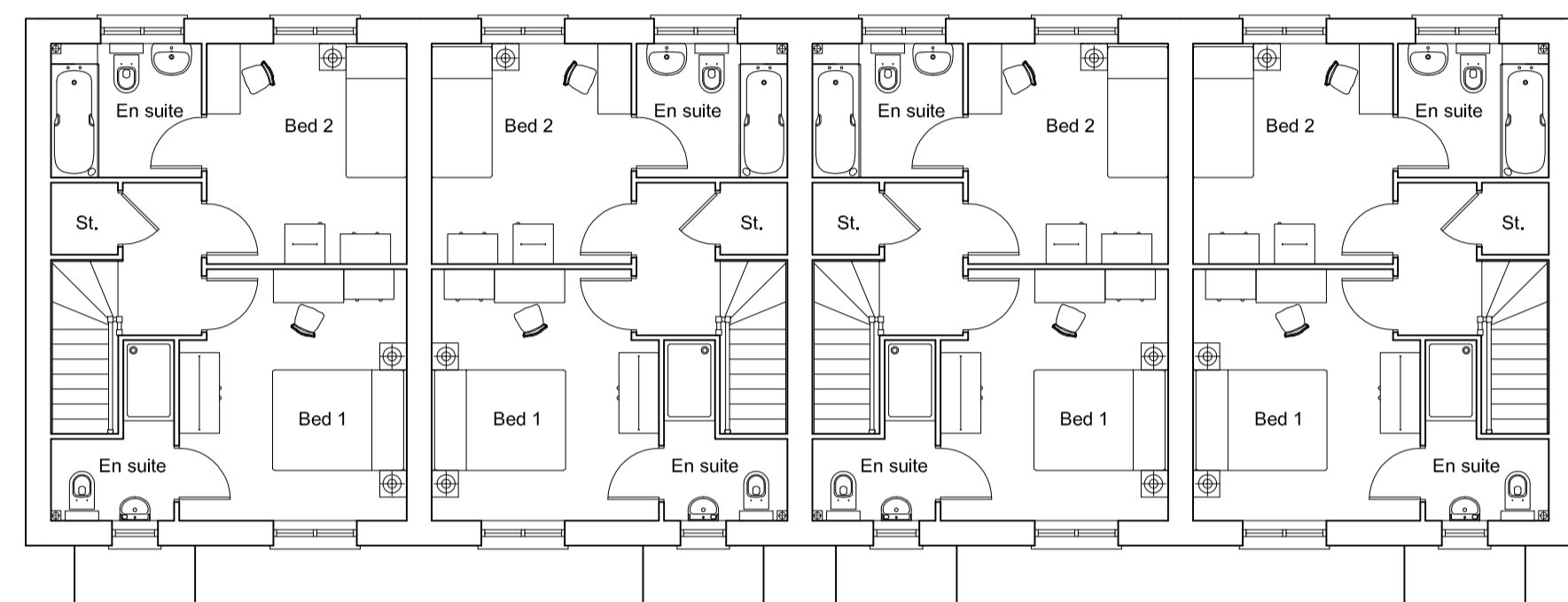
**OSP**  
ARCHITECTURE

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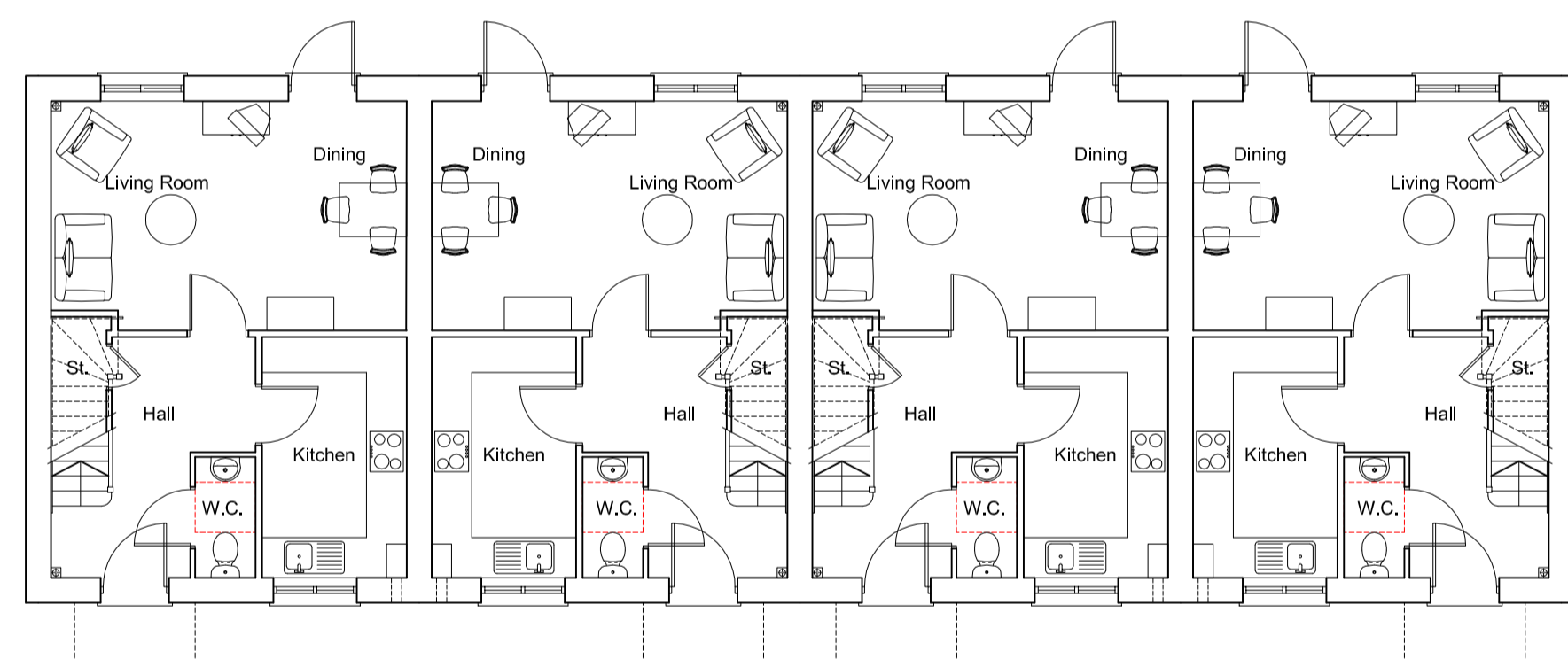




Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



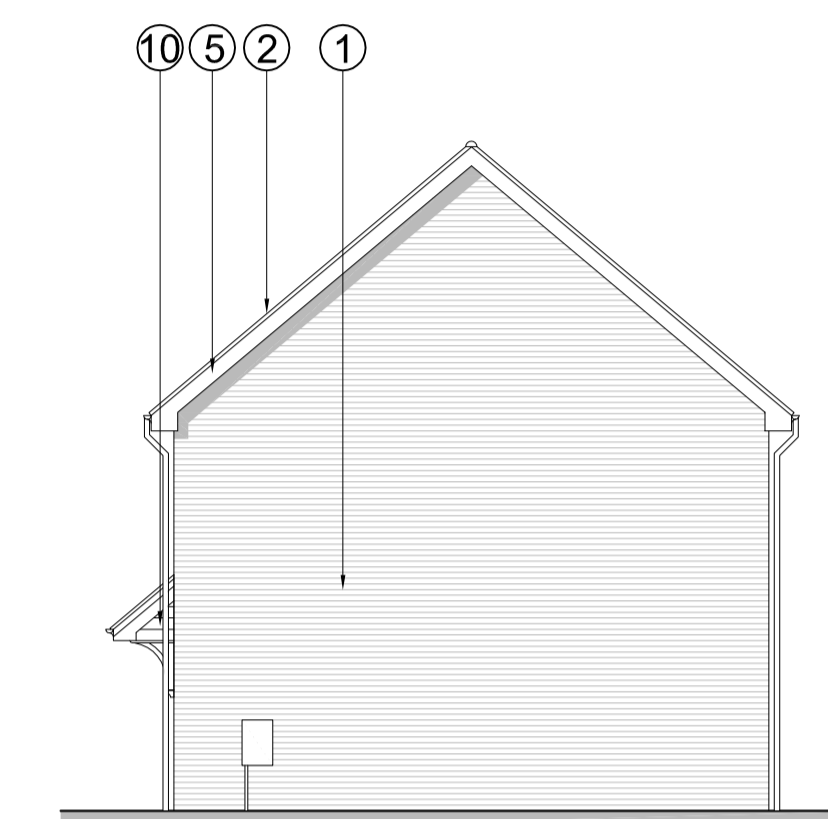
First Floor Plan



Ground Floor Plan



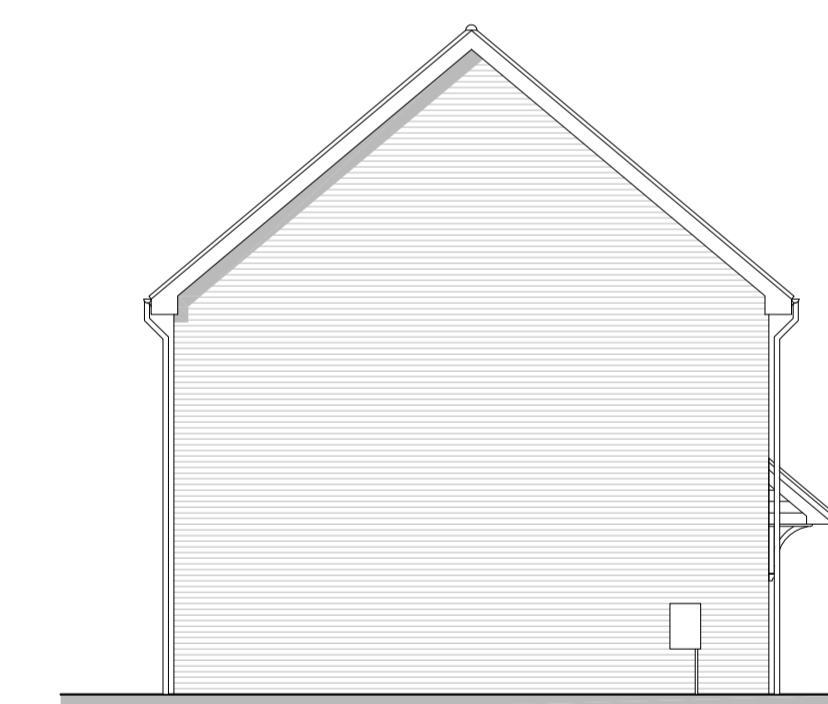
Front Elevation



Side Elevation



Rear Elevation



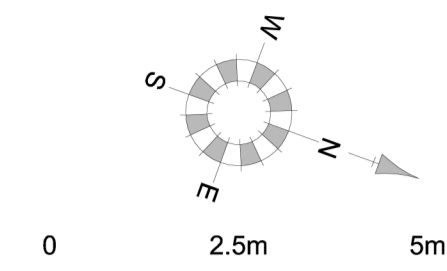
Side Elevation

Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	
④ Reconstituted stone oill	
⑤ UPVC barge board, soffits and fascia	
⑥ Soldier course head brick type 2	
⑦ 150 brick course oill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

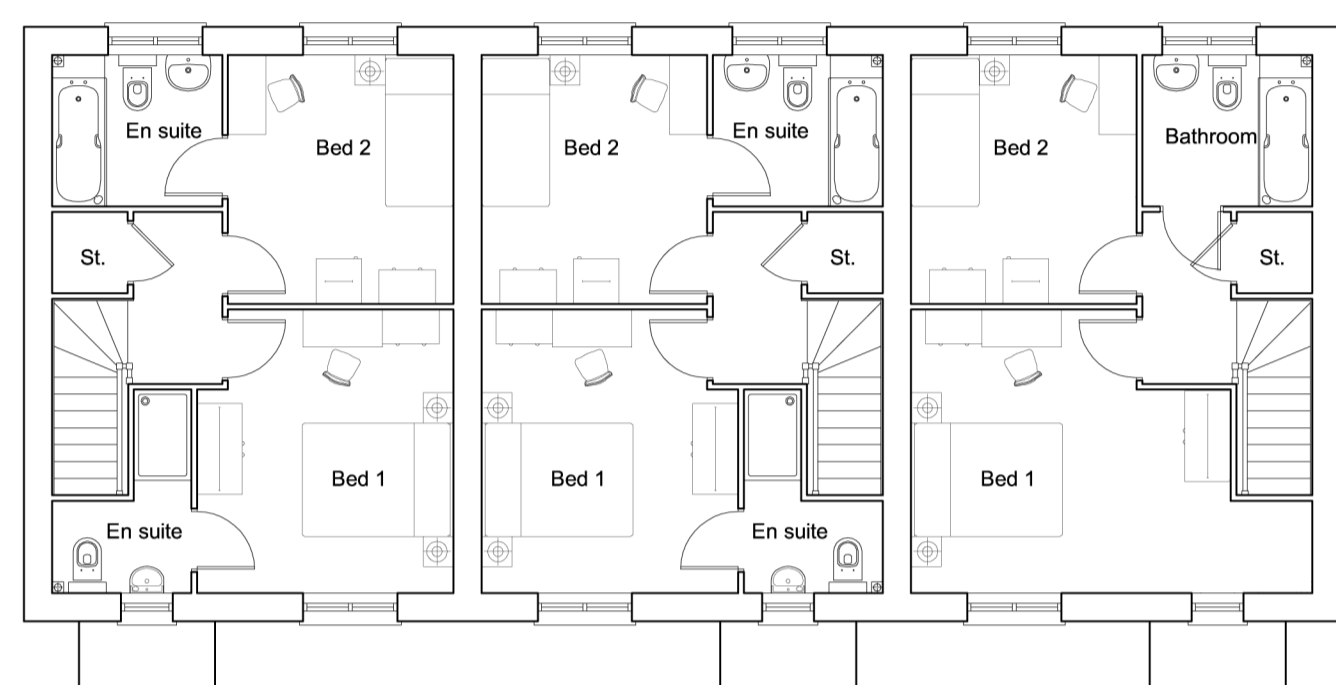
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A	21.03.2015	Client revisions added					
B	23.03.2015	Materials enhanced					
C	30.03.2015	Client revisions					
D	12.10.2015	Client revisions					
E	20.11.2015	Issued for Planning					
F	02.12.2015	Ridge heights added					

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 12 - 15 Floor plans and Elevations (2BA)
DRAWN:	gg		
DATE:	Sep.15	15069	P112 F

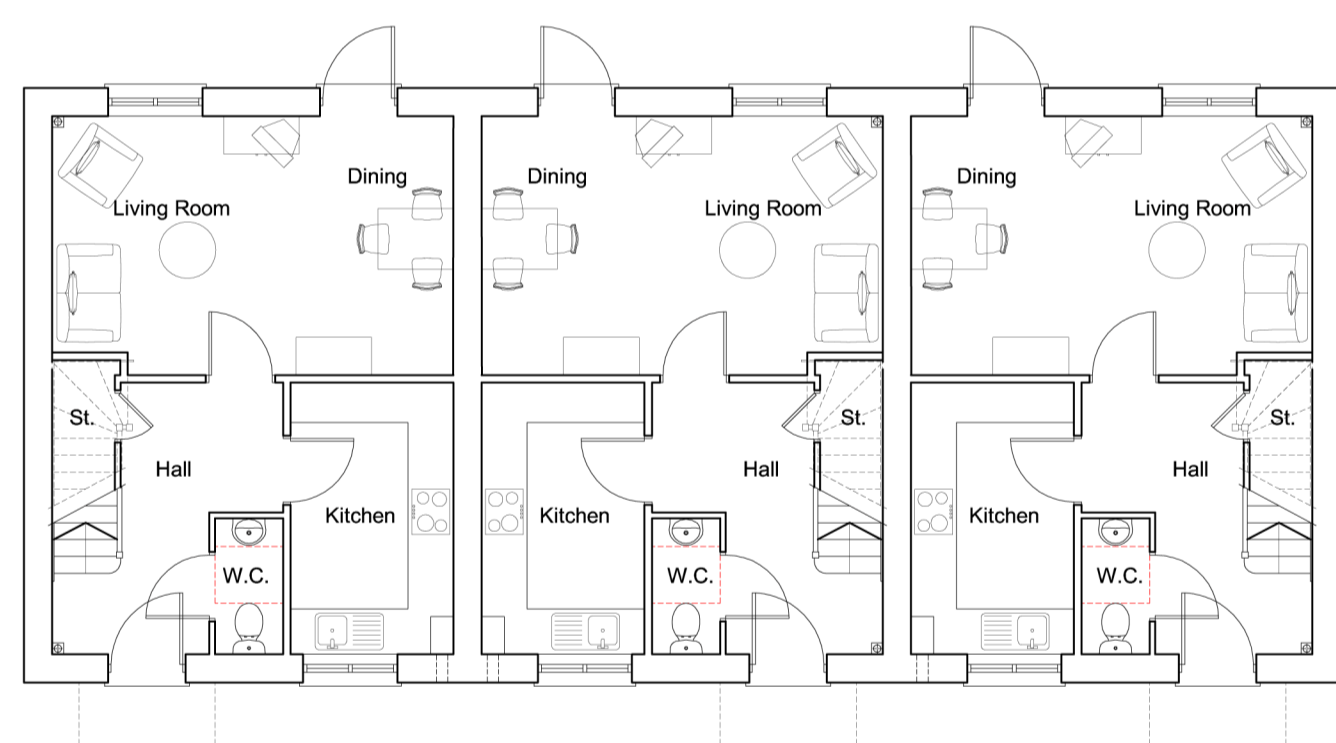
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Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown.



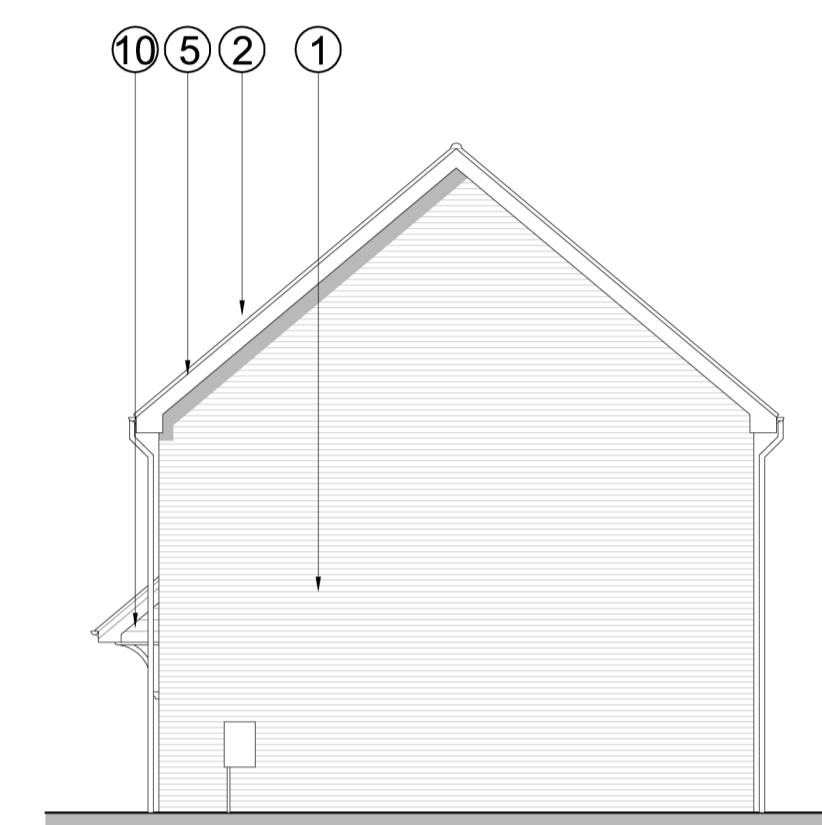
First Floor Plan



Ground Floor Plan



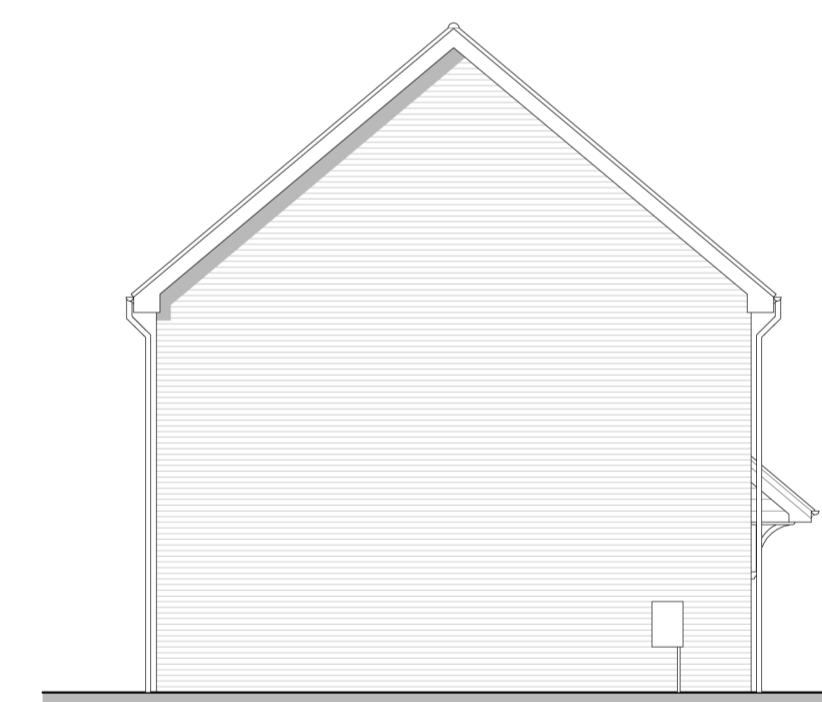
Front Elevation



Side Elevation



Rear Elevation



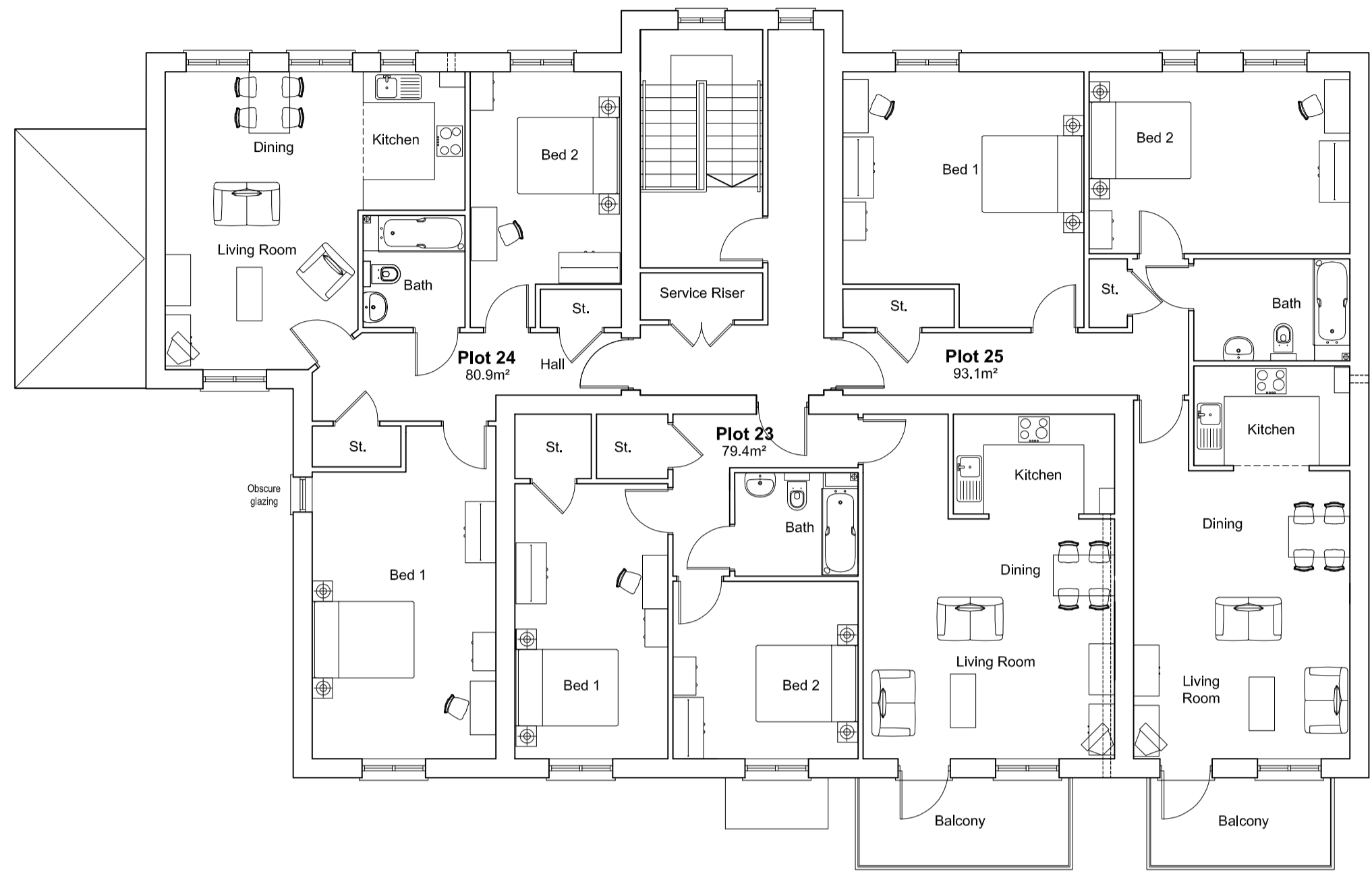
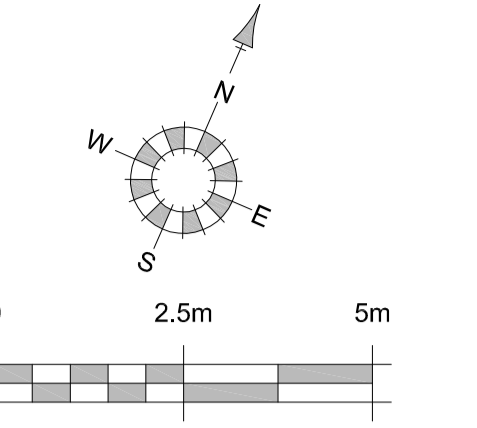
Side Elevation

Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	
④ Reconstituted stone cill	
⑤ UPVC barge board, soffits and fascia	
⑥ Soldier course head brick type 2	
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

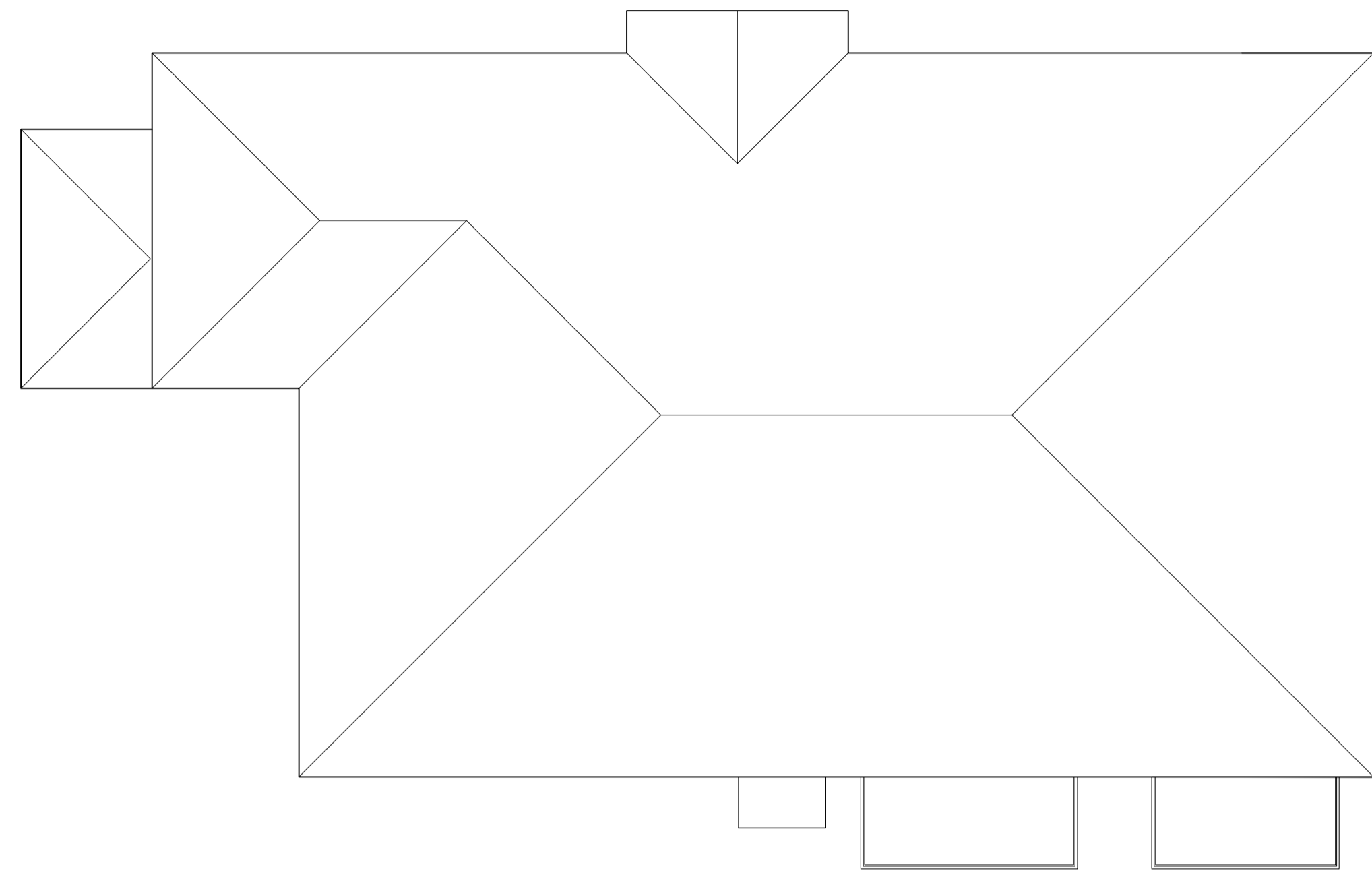
REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added					
B	29.09.2015	Materials enhanced					
C	30.09.2015	Client revisions					
D	12.10.2015	Client revisions					
E	20.11.2015	Issued for Planning					
F	02.12.2015	Ridge heights added					
G	10.01.2016	Client revisions added					

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames	Broadmeade House Farnham Business Park Weydon Lane Farnham, Surrey GU9 8QT Tel. 01252 267878 name.surname@osp architecture.com www.osparchitecture.com
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 16 - 18 Floor plans and Elevations (2BA)	
DRAWN:	gg	15069	P113	G
DATE:	Sep.15			

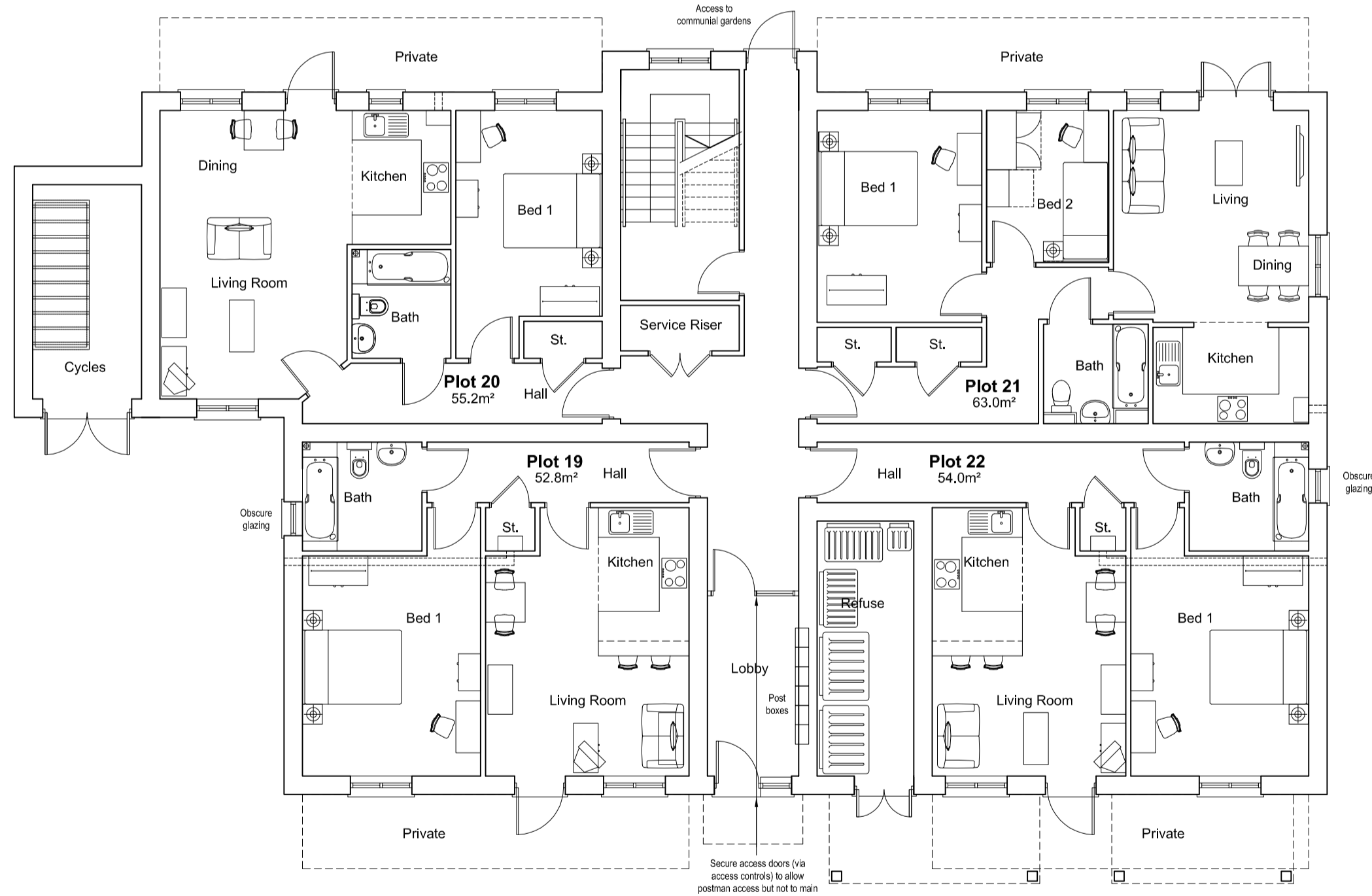




First Floor Plan



Roof Plan



Ground Floor Plan

REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added					
B	29.09.2015	Client revisions added					
C	30.09.2015	Client revisions added					
D	12.10.2015	Client revisions added					
E	20.11.2015	Issued for Planning					
F	15.02.2016	Ensuite removed from 2 Bed Flats, secured by design comments added					

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 19 - 25 Floor Plans
DRAWN:	99	15069	P114
DATE:	Sep.15		F

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Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



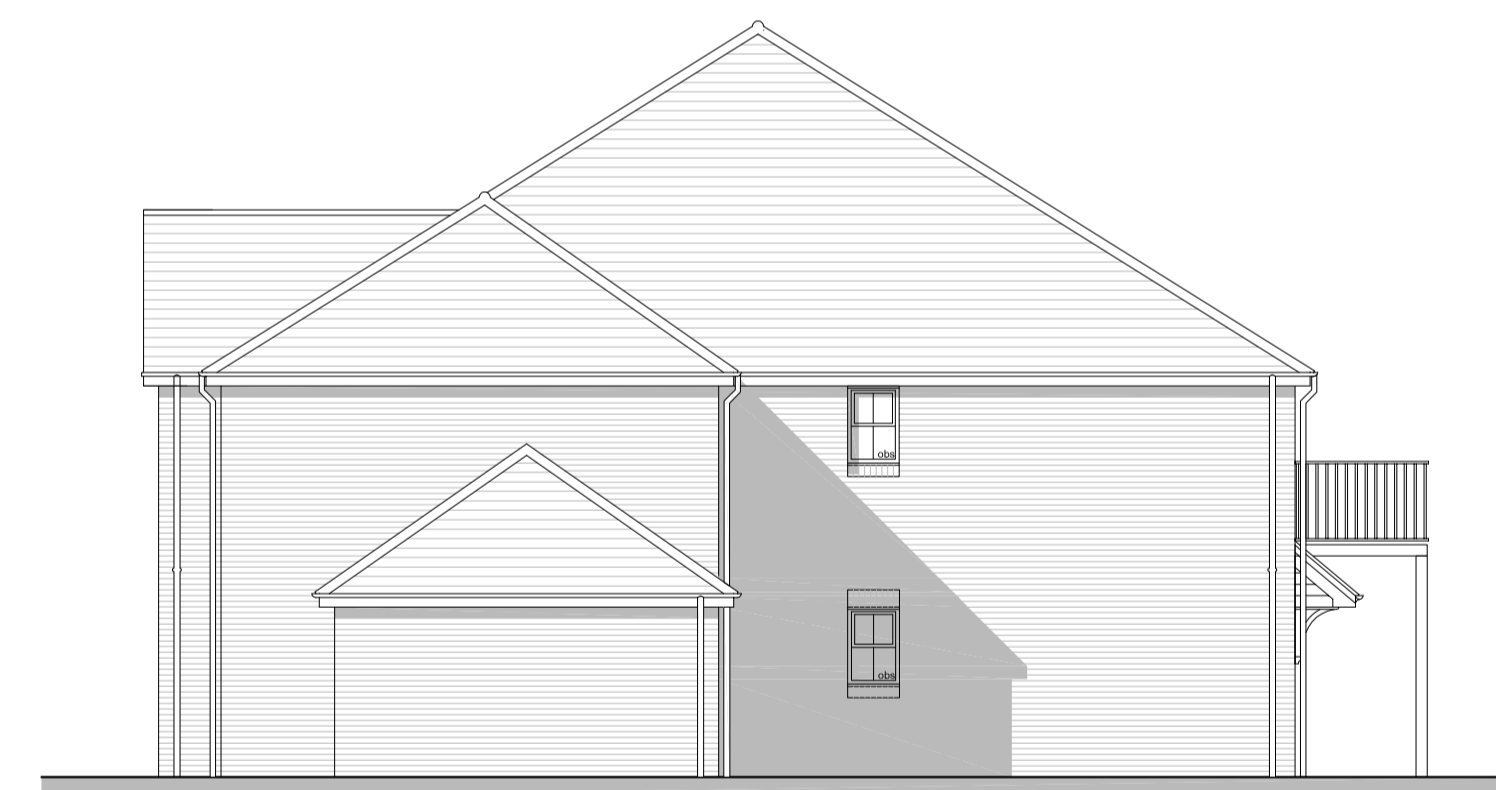
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

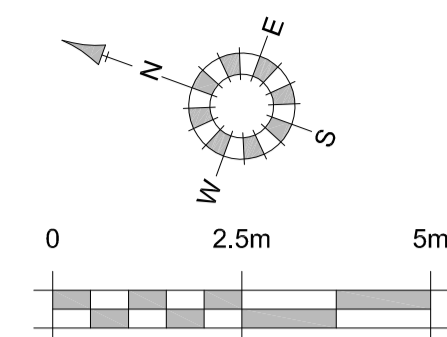
Materials	
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② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	⑫ Steel louvered doors
④ Reconstituted stone cill	⑬ PPC Steel railings
⑤ UPVC barge board, soffits and fascia	⑭ PPC square hollow section posts
⑥ Soldier course head	
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added					
B	29.09.2015	Materials enhanced					
C	30.09.2015	Client revisions					
D	12.10.2015	Client revisions					
E	20.11.2015	Issued for Planning					
F	02.12.2015	Ridge heights added					

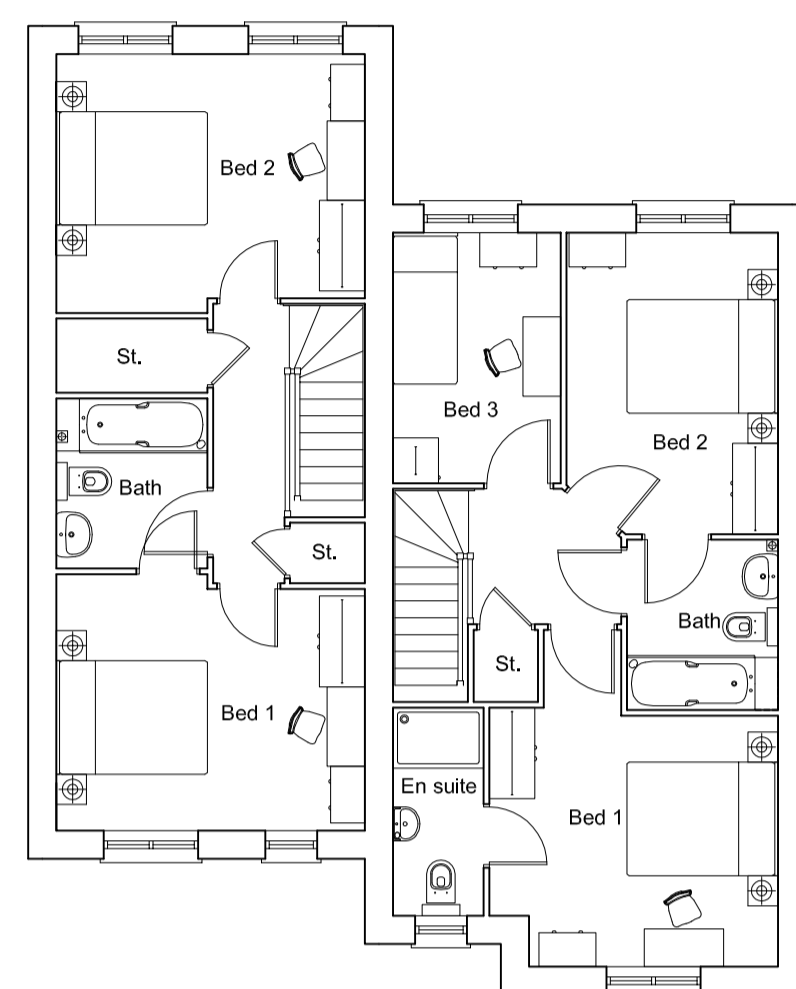
CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 19 - 25 Elevations
DRAWN:	99	15069	P115
DATE:	Sep.15		F

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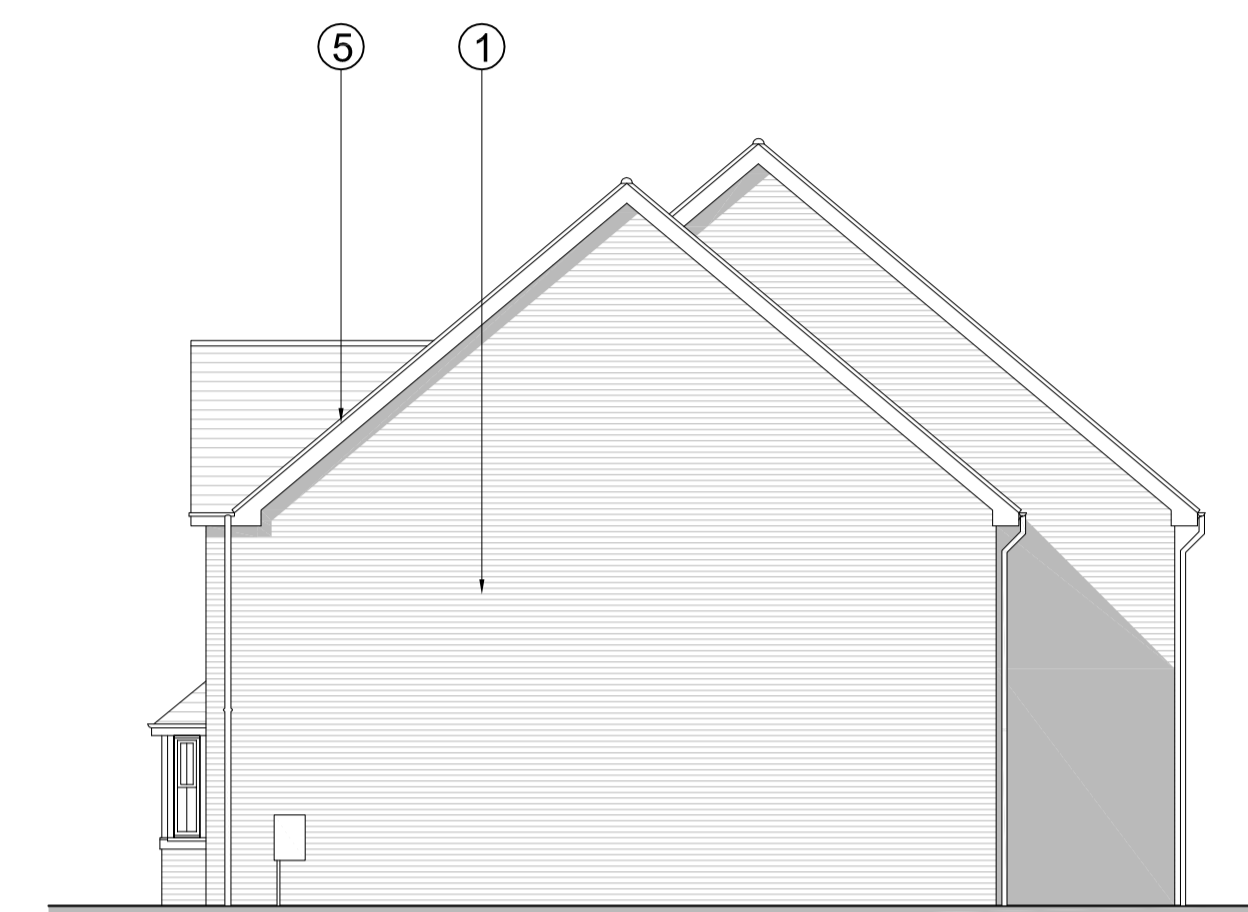
Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



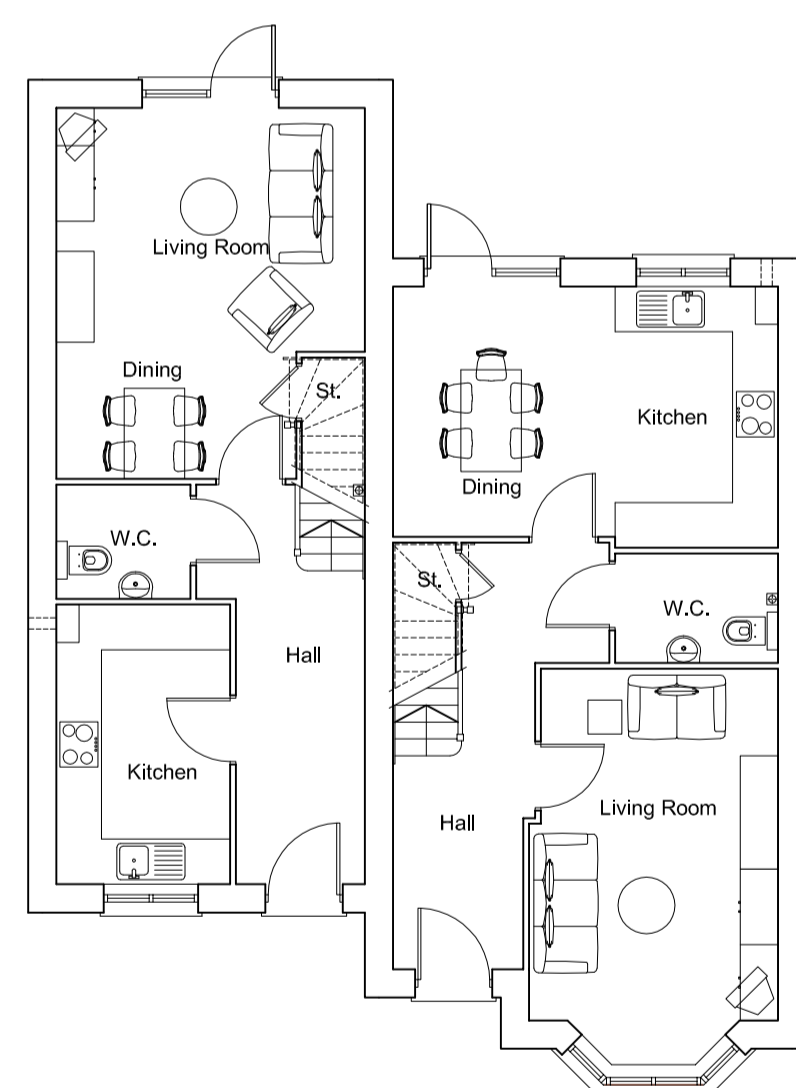
First Floor Plan



Front Elevation



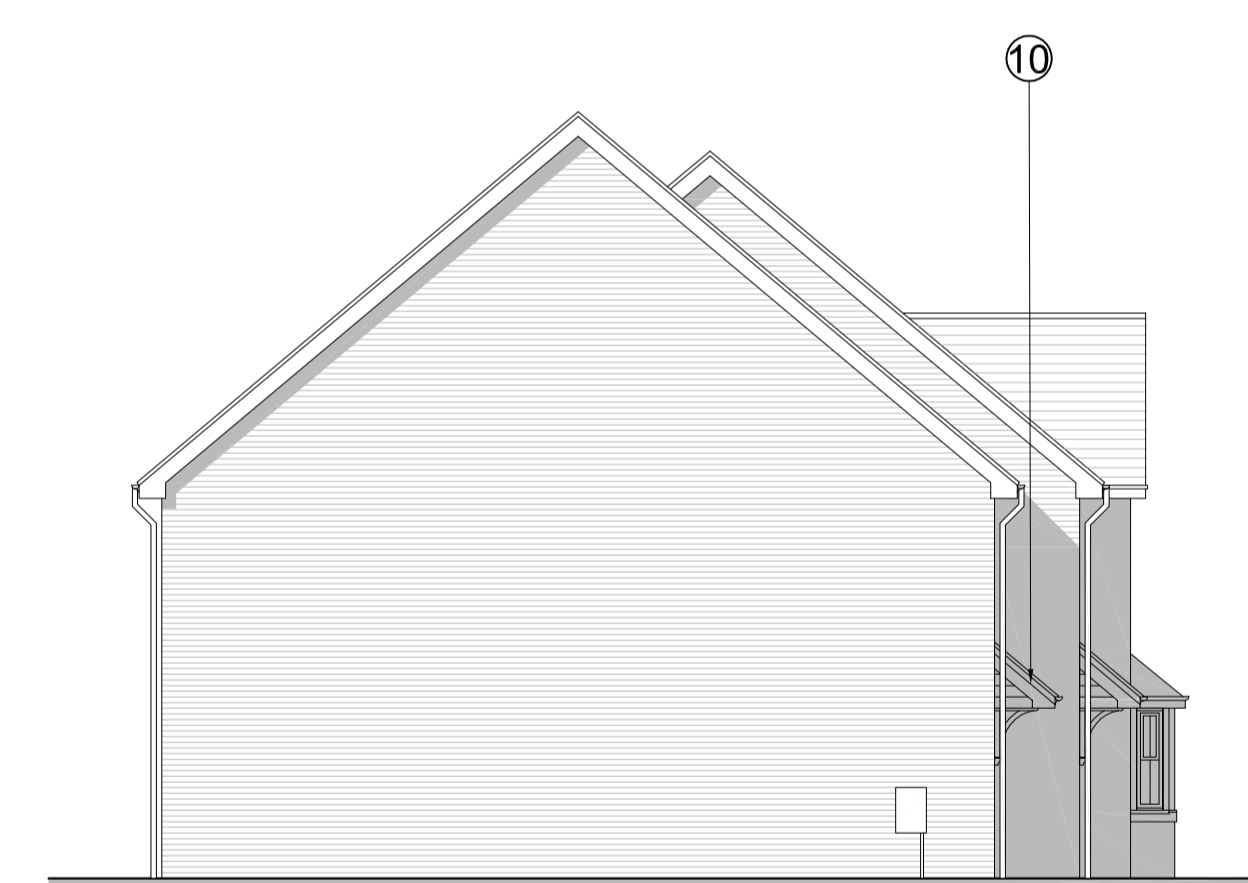
Side Elevation



Ground Floor Plan



Rear Elevation



Side Elevation

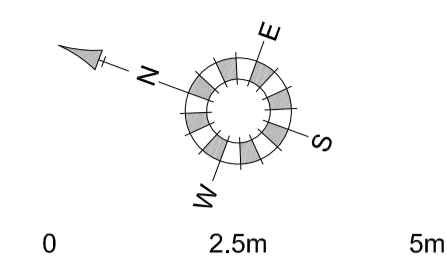
Materials	
①	Facing brickwork brick type 1
②	Cement slate appearance roof tiles - dark grey
③	4 Course flat arch brick type 2
④	Reconstituted stone cill
⑤	UPVC barge board, soffits and fascia
⑥	Soldier course head brick type 2
⑦	150 brick course cill brick type 2
⑧	UPVC doors
⑨	UPVC windows
⑩	Timber gullows bracket and soffit boards painted white
⑪	UPVC Deep flow gutters

REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By	REV	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added									
B	29.09.2015	Materials enhanced									
C	30.09.2015	Client revisions									
D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									

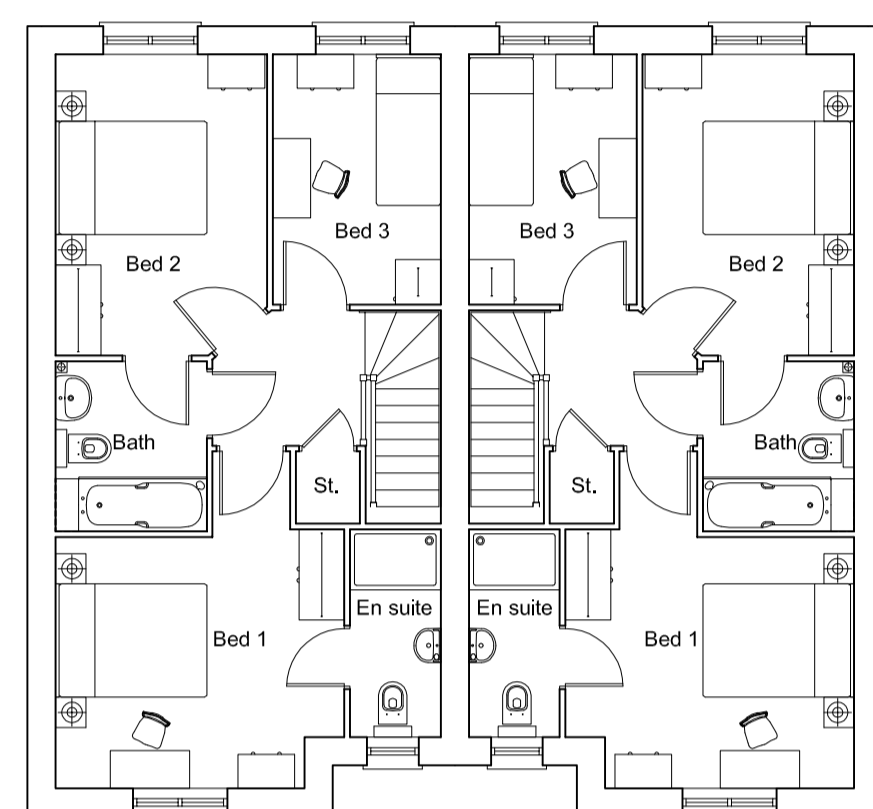
CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 26 - 27 Floor Plans and Elevations (2B/3BA)
DRAWN:	99	15069	P116
DATE:	Sep.15		F

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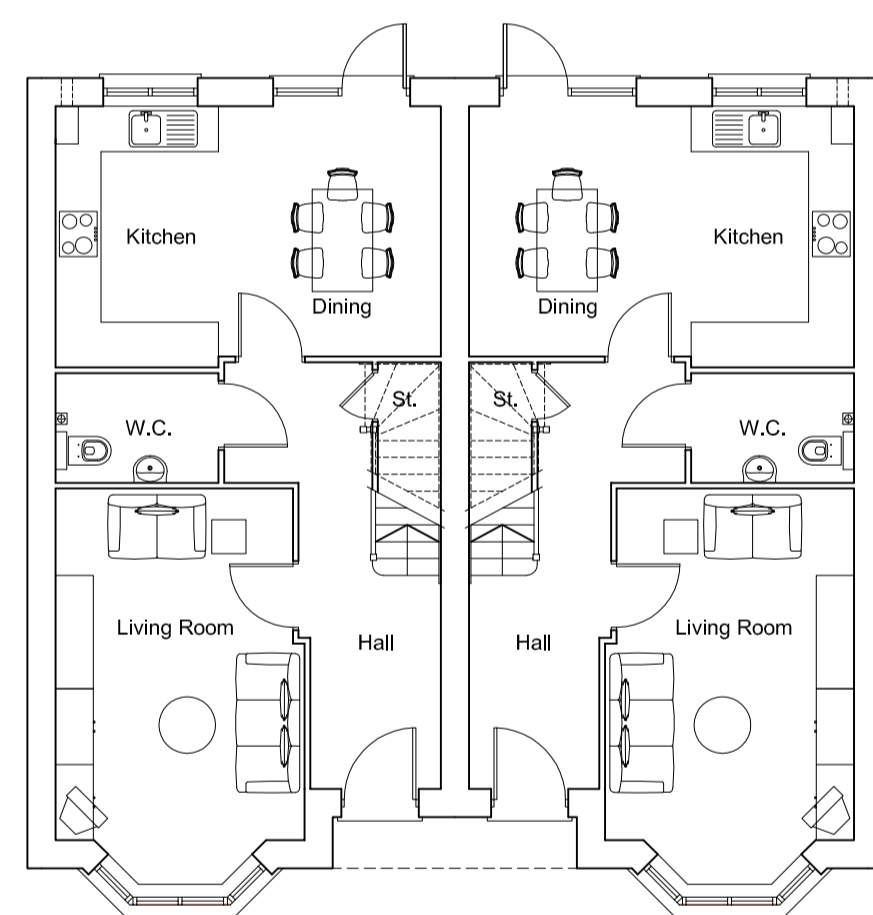
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Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



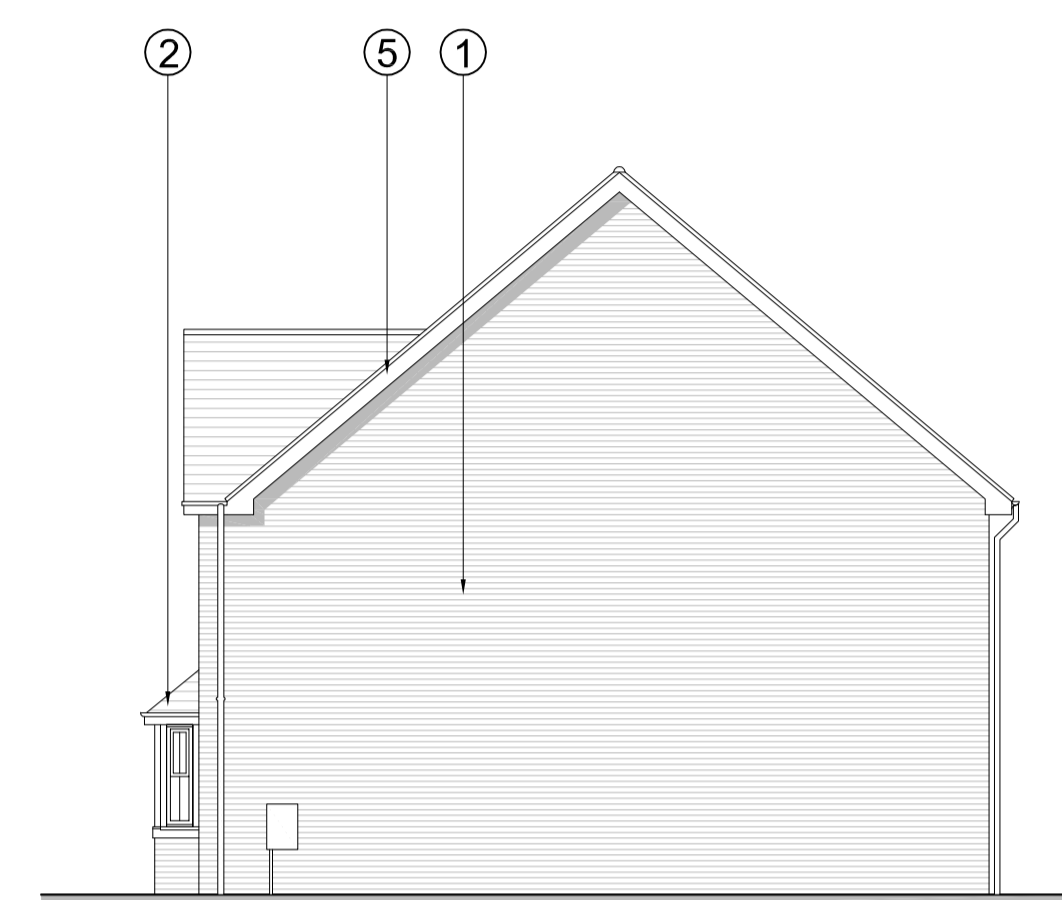
First Floor Plan



Ground Floor Plan



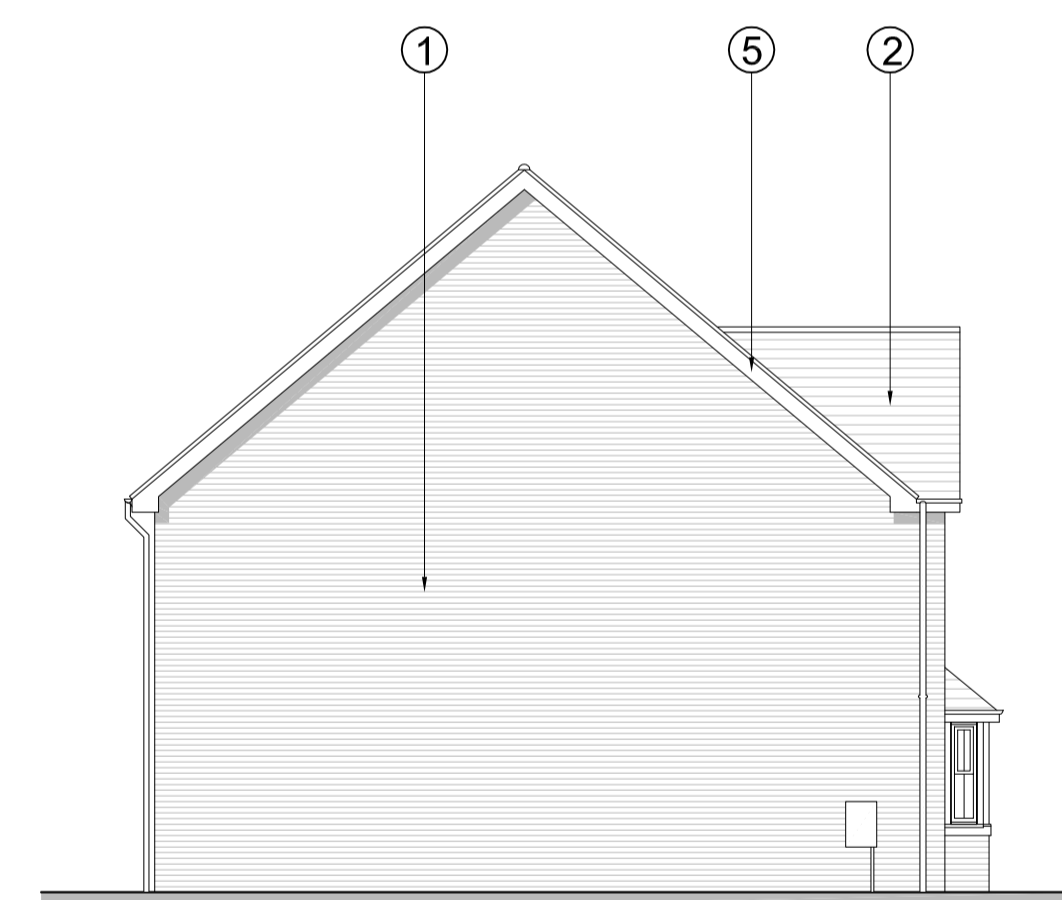
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

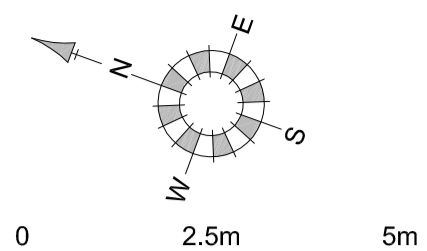
Materials	
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② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	⑫ Dummy windows
④ Reconstituted stone cill	
⑤ UPVC barge board, soffits and fascia	
⑥ Soldier course head brick type 2	
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

Page 86

REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By
A	21.09.2015	Client revisions added									
B	29.09.2015	Materials enhanced									
C	30.09.2015	Client revisions									
D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									

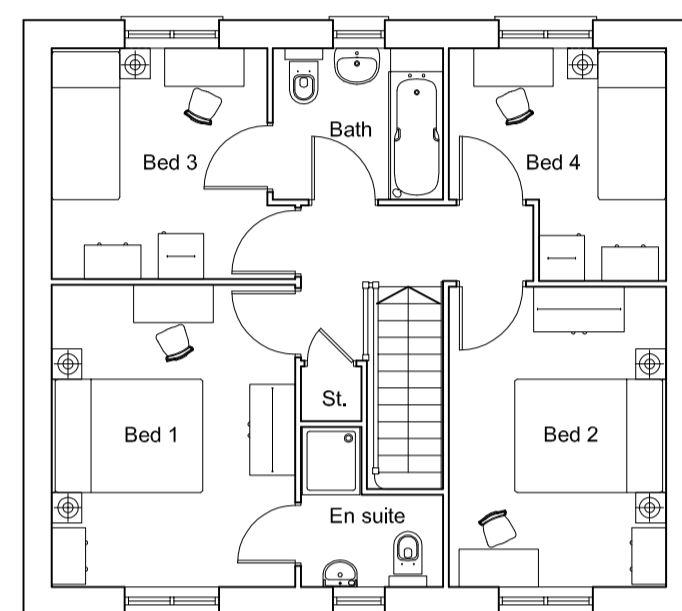
CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 28 - 29, 32 - 33 Floor Plans and Elevations (3BA)
DRAWN:	99	15069	P117
DATE:	Sep.15		F

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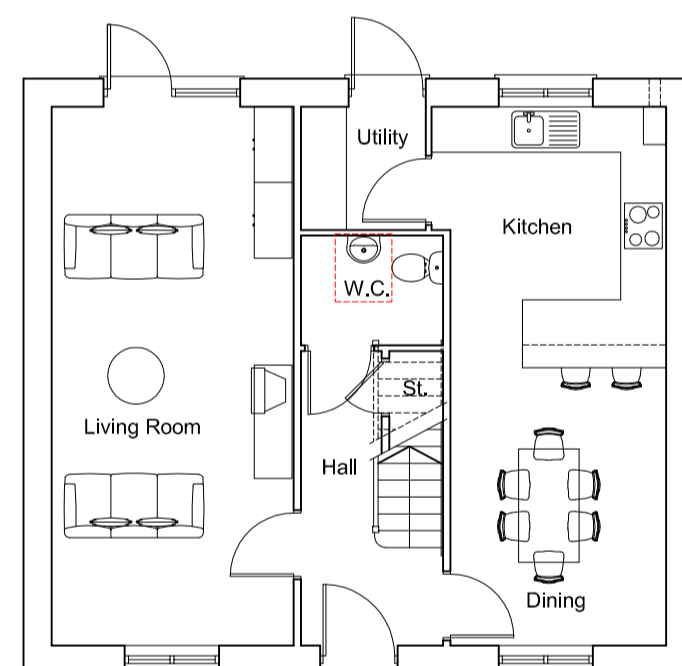


0 2.5m 5m

Note: The heights shown are measured from the ground level which is set at 150mm below the internal finished floor level. Please note that ground levels are subject to a detailed design and may vary from that shown



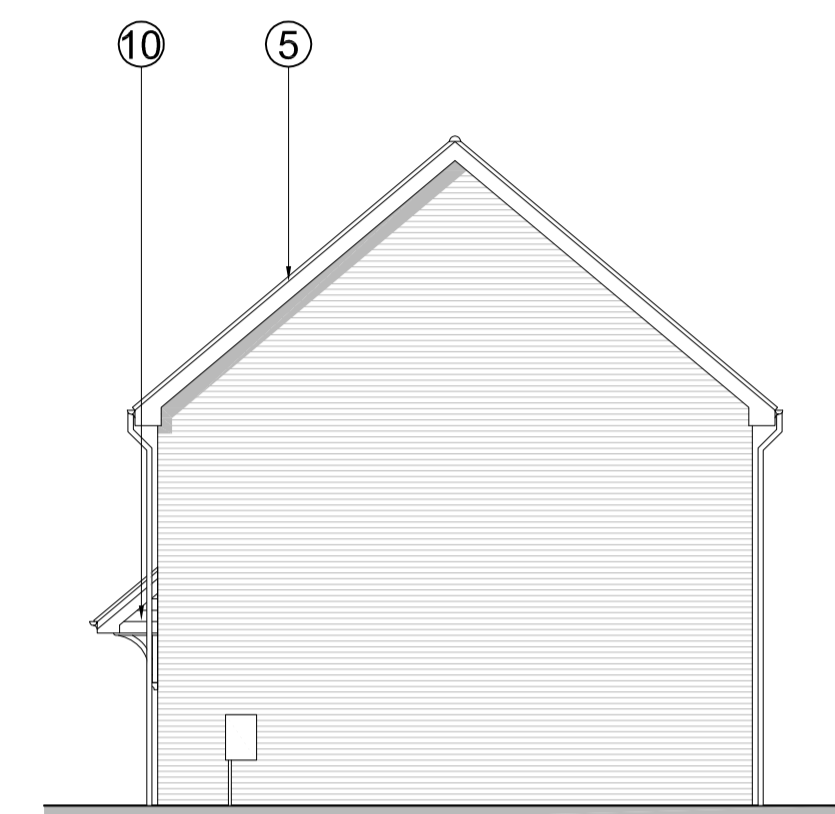
First Floor Plan



Ground Floor Plan



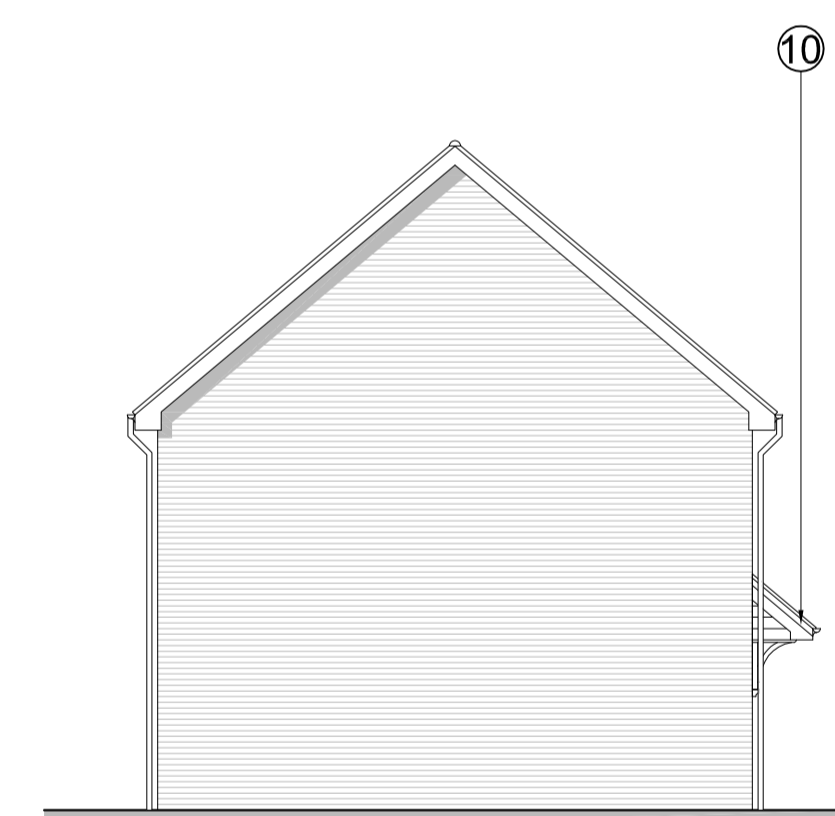
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Materials	
① Facing brickwork brick type 1	⑩ Timber gallows bracket and soffit boards painted white
② Cement slate appearance roof tiles - dark grey	⑪ UPVC Deep flow gutters
③ 4 Course flat arch brick type 2	
④ Reconstituted stone cill	
⑤ UPVC barge board, soffits and fascia	
⑥ Soldier course head brick type 2	
⑦ 150 brick course cill brick type 2	
⑧ UPVC doors	
⑨ UPVC windows	

REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By	REV.	DATE	REVISIONS:	By
A	21.03.2015	Client revisions added									
B	23.03.2015	Materials enhanced									
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D	12.10.2015	Client revisions									
E	20.11.2015	Issued for Planning									
F	02.12.2015	Ridge heights added									

CLIENT:	Fairview Homes Ltd	PROJECT:	Page Aerospace Sunbury on Thames
SCALE:	1:100 (A1 ORIGINAL)	DRAWING:	Plots 30 & 31 Floor Plans and Elevations (4BB)
DRAWN:	gg	15069	P118
DATE:	Sep.15		F

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**PLANNING APPEALS****LIST OF APPEALS SUBMITTED BETWEEN 18 JUNE AND 14 JULY 2016**

<b><u>Planning Application/</u></b>	<b><u>Inspectorate Ref.</u></b>	<b><u>Address</u></b>	<b><u>Description</u></b>	<b><u>Appeal Start Date</u></b>
16/00025/FUL	APP/Z3635/C/1 63151477	Land to the rear of 1-27 Allen Road Sunbury on Thames	Erection of 4 no. 3/2 bedroom houses in the form of two pairs of semi-detached houses with associated gardens, parking and landscaping.	17/06/2016

**APPEAL DECISIONS RECEIVED BETWEEN 18 JUNE AND 14 JULY 2016**

<b>Site</b>	60 Minsterley Avenue, Shepperton
<b>Planning application number</b>	15/01633/TPO
<b>Appeal Reference</b>	APP/Z3635/5170
<b>Appeal Decision Date:</b>	28/06/2016
<b>Inspector's Decision</b>	Appeal is dismissed
<b>Proposed Development</b>	To fell a Cedar Atlas tree
<b>Reason for Refusal</b>	The Atlas Cedar makes a significant contribution to local amenity and the tree cover of the area. The tree has a reasonably balanced crown, and minor remedial pruning could control growth and maintain the balanced appearance. The tree is prominent in the street scene, and no evidence has been provided of any structural damage. The Atlas Cedar appears to be healthy and stable showing no obvious signs of disease of decay, and the tree survey report has not provided sufficient information to support removal. Insufficient justification has therefore been provided warrant the felling of the tree.

<p><b>Inspector's Comments</b></p>	<p>The Inspector considered that there were two main issues:</p> <p>“The effect on the character and appearance of the locality, street scene and the wider landscape”; and</p> <p>“Whether the reasons given for the proposals are sufficient to justify that course of action.”</p> <p>In terms of the character of the locality, the Inspector noted Minsterley Avenue is a modern residential development with a lightly wooded area. No.60 is fairly typical of the detached houses within the surrounding locality, containing windows within front elevation facing the road, and an integral garage and brick built driveway. The Inspector noted the appeal tree is a tall large mature Blue Atlas Cedar located about 9 metres from the front elevation of the house. The crown is fairly open and has been subject to earlier surgery. It is 1 of a scattering of similarly sized trees within the surrounding locality. It can be seen from properties alongside both sides of the road, and is a key landscape feature when approaching along the road. The Inspector commented that removal of the tree would deplete the locality of 1 tree, and would detract from the character and appearance of the area, locality and street scene.</p> <p>The inspector indicated that the appeal tree is a large tree and should it fail, it could cause serious damage. The Inspector also noted that the appellant considers that the tree has previously lost heavy limbs. The Inspector stated removal of deadwood would not require the Council's permission, and minor remedial work could retain the tree in good condition. The Inspector commented that this may include crown lifting 2.5 metres above the pavement, and 5 metres above the road, without the necessity of removing the tree. The Inspector indicated that this would be subject to further discussions with the Council.</p> <p>The Inspector accepted that the roots will travel beneath the soil surface, driveway and footpath and therefore could cause pressure to building materials. However, the tree has little growth potential, and in the Inspectors view, the repair of such damage is minor works, and could be achieved without harm to the tree.</p> <p>The Inspector indicated the appeal tree makes a sufficient contribution to the visual amenity of the locality, street scene and wider landscape, and removal would cause demonstrable harm. It was further commented that the tree is not so ill-suited to its location sufficient to override amenity benefits. The Inspector dismissed the appeal.</p>
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<b>Site</b>	Land Adjoining The Point And Church Island House, Church Island, Staines-upon-Thames
<b>Planning Application Number</b>	I5/00333/FUL
<b>Appeal Reference</b>	APP/Z3635/W/16/3142758
<b>Appeal Decision Date:</b>	01/07/2016
<b>Inspector's Decision</b>	Appeal is dismissed
<b>Proposed Development</b>	Change of use of land from a leisure mooring to a residential mooring.
<b>Reasons for Refusal</b>	<p>The proposed permanent residential mooring would represent inappropriate development that would detract from the openness of the Green Belt and no very special circumstances have been demonstrated to justify the development and so the proposal is considered to be contrary to Saved Local Plan Policy GB1 and the National Planning Policy Framework 2012.</p> <p>The site is located within Flood Zone 3b (greater than 1 in 20 year chance of flooding) and the creation of permanent residential accommodation which is considered to be a 'more vulnerable' use in this area, would be inappropriate and would place more people at risk from flooding. The proposal is therefore contrary to Policy LO1 of the Core Strategy and Policies DPD 2009 and the Supplementary Planning Document on Flooding July 2012.</p>
<b>Inspector's Comments</b>	<p>The Inspector considered that the main issues were i) whether the proposal would be inappropriate development within the Green Belt; ii) the effect on the openness of the Green Belt; iii) the effect of the proposal on the risk from flooding and iv) whether harm by inappropriateness and any other harm would be clearly outweighed by other considerations, and if so, whether this would amount to very special circumstances.</p> <p>The Inspector concluded that the exemptions listed in paragraphs 89 and 90 of the National Planning Policy Framework is a 'closed' list and as a material change of use does not fall within the scope of specific exemptions, it is</p>

	<p>'inappropriate development' . However, subject to conditions restricting domestic paraphernalia associated with a residential mooring, he felt that the change of use in itself would not result in a noticeable or harmful loss of openness in the Green Belt.</p> <p>In terms of flooding, as the residential mooring (subject to a revised Flood Risk Assessment) may possibly be regarded as 'water compatible development', the Inspector did not consider that the risk from flooding is an 'in principle' reason for refusal.</p> <p>In assessing other matters, the Inspector also considered that the proposal would not impact upon the character and appearance of the Conservation Area, or the visual and residential amenities of the locality. Additionally, he also noted that there would not be harmful conflict with the Councils Environmental Policies and there was some support for the proposal from interested parties.</p> <p>However, the Inspector concluded that the other considerations do not clearly outweigh the harm caused by the proposal being inappropriate development in the Green Belt and that consequently, the very special circumstances necessary to justify the development do not exist.</p>
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<b>Site</b>	6 Green Lane, Shepperton
<b>Planning Application Number</b>	15/00427/FUL
<b>Appeal Reference</b>	APP/Z3635/W/16/3147648
<b>Appeal Decision Date:</b>	07/07/2016
<b>Inspector's Decision</b>	Allowed
<b>Proposed Development</b>	Demolition of property and erection of a part three storey/part two storey block of 6 flats, comprising of 4 no. 1 bed and 2 no.2 bed units with associated hard and soft landscaping.
<b>Reason for refusal</b>	The proposal is considered to represent an overdevelopment of the site having excessive housing density, inadequate amenity space, insufficient parking provision and with the proposed building having insufficient regard to the character of the residential properties to the east at nos. 8-12 Green Lane to the detriment of the visual amenity of the street scene. Moreover,

	<p>the proposal is considered to provide a poor standard of amenity to future occupiers of the proposed units, with poor outlook. The proposal is therefore contrary to Policies EN1 and HO5 of the Core Strategy and Policies DPD 2009 and the Supplementary Planning Document on the Design of Extensions and New Residential Development 2011.</p>
<p><b>Inspector's Comments</b></p>	<p>The Inspector considered the main issues were the effect on the character and appearance of the area, the effect on the living conditions of future occupants in terms amenity space and outlook and also parking provision.</p> <p>He considered that the appeal site forms a transition point into the more suburban residential environment of Green Lane. He noted that the density was acceptable in this location due to the proposal being for flats and close to the town centre. He stated that the proposal would be, '... a more modern reflection of some of the regular design characteristics of the host property'. He agreed with the appellant that no 6 appears separate to the other properties on Green Lane due to its association with and access via Shepperton House and the fact that it is substantially screened from view, stating that, '... there does appear to be marked difference in the character of Green Lane between a more urbanised form of development at Shepperton House including no. 6, to the more residential character of no. 8 and beyond.' He concluded that the proposal will provide a more gradual transition between Shepperton House and detached dwellings and that it would adequately integrate and reflect the character of the buildings on either side.</p> <p>The Inspector considered the front garden area would be a suitable and useful amenity space, and attractive with existing trees retained. He did not considered the outlook from the proposed ground floor close to the car park area would warrant the dismissal of the appeal and noted the close proximity to Shepperton recreation ground. As such he considered the proposal to be acceptable in term of amenity of future occupants.</p> <p>He noted that the site is close to the town centre in an area where transport accessibility is high, and as such 5 parking spaces would be sufficient and can be achieved on site. He was not convinced that the proposal would increase demand for on street parking given the relatively small size of units and accessibly to public transport links and therefore concluded the level of off-street parking was acceptable.</p> <p>The Inspector agreed that an arboricultural method statement should be provided to demonstrate the development would not harm the health of the trees to be retained, as they make a significant contribution to the character of the area.</p>

**FUTURE HEARING / INQUIRY DATES**

<b>Council Ref.</b>	<b>Type of Appeal</b>	<b>Site</b>	<b>Proposal</b>	<b>Case Officer</b>	<b>Date</b>
15/00698 /FUL	hearing	Land at Northumberland Close Stanwell	Erection of a Class B1(Business) building with associated parking and landscaping, and construction of access onto Northumberland Close, together with dedication of land fronting Bedford Road as Public Open Space.	JF	26/07/2016